



**Grant County**  
**Central Services**  
 P O Box 37  
 Ephrata WA 98823  
 (509) 754-2011 Ext-3276

**February, 24, 2016**

**GRANT COUNTY CENTRAL SERVICES  
 REQUEST FOR BIDS  
 ALUMINUM FRAME ENTRANCE AND STOREFRONT**

**The Grant County Central Services Department (CSD) is working in partnership with M.J. Takisaki, A general contractor selected to facilitate the repairs of Grant County’s Youth Services Facility in Ephrata WA.**

<i>Important dates / requirements</i>	<i>Date</i>	<i>Yes</i>	<i>RCW / Notes</i>
RFB Published	Feb 24 <sup>th</sup> 2016		Through MRSC roster
Submission Deadline	March 15 <sup>th</sup> 2016		No Later Than 2:00 pm
Anticipated Start Date	March 28 <sup>th</sup> 2016		
Prevailing Wage		XX	Wages effective June 29 <sup>th</sup> 2016
Bonds/Insurance required		XX	
Responsible Bidder Criteria		XX	RCW 39.04.350

Direct questions to M.J. Takisaki Project Manager. All questions to be submitted electronically no later than 2:00 pm on 15 March 2016. Answers will be distributed to all interested bidders.

Tom Wollney  
 M.J. Takisaki / Grant County Youth Services Project Manager  
[tomw@takisaki.com](mailto:tomw@takisaki.com)

Thank you in advance for your courtesies,

*Tom Gaines*

Tom Gaines  
 Grant County,  
 Director of Central Services,

Tom Gaines  
 Director of Central Services  
[tgaines@grantcountywa.gov](mailto:tgaines@grantcountywa.gov)



# MJ TAKISAKI, INC.

GENERAL CONTRACTOR

SUBJECT: MJT Project # 2502, Grant County Juvenile Detention Center  
303 Able Rd., Ephrata, WA 98823

## INVITATION TO BID

M.J. Takisaki, Inc., Prime Contractor for the above mentioned project, invites qualified ALUMINUM FRAME ENTRANCE AND STOREFRONT subcontractors to provide bids for Grant County Juvenile Detention Center. The Project is located at 303 Able Road, Ephrata, Grant County, WA. The anticipated start date is on or around 28 March, 2016. Other pertinent information as follows:

1. The Work includes removal, modification and reinstallation of three storefront sections and is further clarified in the Statement of Work.
2. Bid documents are available to interested bidders through the Grant County Small Works Roster.
3. State of Washington Department of Labor & Industries Prevailing Wage Rates, effective 29 June 2015, apply.
4. Due to the mission of the Facility, background checks may be required of all employees working onsite.
5. Drug testing will be required of all persons working onsite.
6. Photo documentation of the existing facility is included with the drawings and is presumed to be sufficient for bidding purposes. Should a site visit be required, please coordinate with M.J. Takisaki Project Manager.
7. Direct questions to M.J. Takisaki Project Manager. All questions to be submitted electronically no later than 2:00 pm on 15 March 2016. Answers will be distributed to all interested bidders.

Please submit your proposals electronically to:

Proposals must be received by **2:00 pm PDT, 15 March 2016**.

M.J. Takisaki is an Equal Opportunity Employer

Bid Documents: Invitation to Bid  
Statement of Work  
Bid Schedule  
Project Sketches



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GENERAL CONTRACTOR

SUBJECT: MJT Project # 2502, Grant County Juvenile Detention Center  
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ALUMINUM FRAME ENTRANCE AND STOREFRONT MODIFICATIONS  
BID SCHEDULE:

BID ITEMS

REMOVE, MODIFY & REINSTALL (3) STOREFRONT SECTIONS \$ \_\_\_\_\_ LS

COMPANY: \_\_\_\_\_

NAME/TITLE OF AUTHORIZED SIGNER: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_



**MJ TAKISAKI, INC.**  
GENERAL CONTRACTOR

SUBJECT: MJT Project # 2502, Grant County Juvenile Detention Center  
303 Able Rd., Ephrata, WA 98823

STOREFRONT STATEMENT OF WORK

The Juvenile Detention Center Building has settled, causing problems with the aluminum storefront systems, including binding one leaf of each of two doorways. Grade beams will be installed at each of two exterior locations and set to level. Refer to Floor Elevations & Entry Systems sketch.

1. Remove three aluminum storefront sections and modify to fit new finish floor elevations.
2. Adjust existing doors to attain proper functionality.
3. Grade beam installation by others.
4. Floor leveling by others
5. HAZMAT Survey and remediation by others.

ABBREVIATIONS	
A/C	AIR CONDITIONING
AB	ANCHOR BOLT
ACC	ACCESSIBLE
ACS PNL	ACCESS PANEL
ACT	ACOUSTICAL CEILING TILE
AD	AREA DRAIN
AFF	ABOVE FINISH FLOOR
ALUM	ALUMINUM
APA	AMERICAN PLYWOOD ASSOCIATION
ARCH	ARCHITECT (URAL)
BD	BOARD
BLDG	BUILDING
BLKG	BLOCKING
BM	BEAM
BOT	BOTTOM
BR	BEDROOM
BRG	BEARING
BTPN	BETWEEN
BUR	BUILT-UP ROOFING
CAB	CABINET
CB	CATCH BASIN
CF/CI	CONTRACTOR FURNISHED / CONTRACTOR INSTALLED
CF/OI	CONTRACTOR FURNISHED / OWNER INSTALLED
CJ	CONTROL JOINT
CL	CENTER LINE
CLG	CEILING
CLO	CLOSET
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONSTR	CONSTRUCTION
CONTR	CONTRACTOR
CPT	CARPET
CSK	COUNTERSUNK
CT	CERAMIC TILE
CU FT	CUBIC FEET
CU YD	CUBIC YARD
D	DEEP, CLOTHES DRYER
DBL	DOUBLE
DET	DETAIL
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DIAG	DIAGONAL
DIM	DIMENSION
DIV	DIVISION
DL	DEAD LOAD
DR	DOOR
DS	DOWNSPOUT
DTL	DETAIL
DW	DISHWASHER
DWG	DRAWING
E	EAST
EJ	EXPANSION JOINT
EL	ELEVATION
ELEG	ELECTRIC(AL)
ELEV	ELEVATOR
EQ	EQUAL
EQUIP	EQUIPMENT
EW	EACH WAY
EXH	EXHAUST
EXIST	EXISTING
EXP	EXPOSED, EXPANSION
EXP BT	EXPANSION BOLT
EXT	EXTERIOR
FA	FIRE ALARM
FD	FLOOR DRAIN
FDC	FIRE DEPARTMENT CONNECTION
FDTN	FOUNDATION
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FF	FACTORY FINISH
FH	FIRE HYDRANT
FIN	FINISH
FLR	FLOOR(ING)
FLUOR	FLUORESCENT
FP	FIREPROOF
FR	FRAME(D)(ING)
FRP	FIBERGLASS REINFORCED PLASTIC
FRTH	FIRE RETARDANT TREATED WOOD
FT	FEET
FTG	FOOTINGS
GA	GAGE, GAUGE
GALV	GALVANIZED
GB	GRAB BAR
GC	GENERAL CONTRACTOR
GFCI	GROUND FAULT CIRCUIT INTERRUPT
GL	GLASS, GLAZING
GLU LAM	GLUE LAMINATED WOOD
GUT	GUTTER
GYP BD	GYPSPUM BOARD
H	HIGH
HB	HOSE BIBB
HCWD	HOLLOW CORE WOOD DOOR
HDW	HARDWARE
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HP	HEAT PUMP
HT	HEIGHT
HVAC	HEATING, VENTILATING, & AIR CONDITIONING
ID	INSIDE DIAMETER
INCL	INCLUDED(ING)
INSL	INSULATED(ION)
INT	INTERIOR
INV	INVERT
JAN	JANITOR
JT	JOINT
KIT	KITCHEN
L	LONG
LAM	LAMINATE(D)(ION)
LAV	LAVATORY
LF	LINEAR FEET
LIN	LINEAR
LL	LIVE LOAD
LT	LIGHT
MATL	MATERIAL
MEGH	MECHANICAL
MEZZ	MEZZANINE
MFR	MANUFACTURER
MH	MANHOLE
MIN	MINIMUM
MO	MASONRY OPENING
MT	MOUNTED
MTL	METAL
N	NORTH
NC	NOT IN CONTRACT
NOM	NOMINAL
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OF/CI	OWNER FURNISHED / CONTRACTOR INSTALLED
OF/OI	OWNER FURNISHED / OWNER INSTALLED
OPNG	OPENING
OPP	OPPOSITE
ORD	OVERFLOW ROOF DRAIN
PBD	PARTICLE BOARD
PCC	PRECAST CONCRETE
PIV	POST INDICATOR VALVE
PL	PROPERTY LINE
PLAM	PLASTIC LAMINATE
PLAS	PLASTIC
PLF	POUNDS PER LINEAL FOOT
PLYWD	PLYWOOD
PNL	PANEL
PNT	PAINT
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PT	PRESSURE TREATED
PTD	PAPER TOWEL DISPENSER
PTN	PARTITION
QT	QUARRY TILE
R	RISER, RADIUS
RA	RETURN AIR
RB	RUBBER BASE
RD	ROOF DRAIN
REF	REFRIGERATOR
REV	REVISION, REVISED
RM	ROOM
RO	ROUGH OPENING
ROM	RIGHT OF WAY
RWC	RAINWATER CONDUCTOR
RWL	RAINWATER LEADER
S	SOUTH
SA	SUPPLY AIR
SCWD	SOLID CORE WOOD DOOR
SF	SQUARE FEET
SHT	SHEET
SIM	SIMILAR
SPEC	SPECIFICATION
SQ	SQUARE
SST	STAINLESS STEEL
SUSP	SUSPENDED
SV	SHEET VINYL
T	TREAD
TB	TOWEL BAR
THK	THICKNESS
TO	TOP OF
TFD	TOILET PAPER DISPENSER
TYP	TYPICAL
UGND	UNDERGROUND
UNO	UNLESS NOTED OTHERWISE
UR	URINAL
VCT	VINYL COMPOSITION TILE
VERT	VERTICAL
VG	VERTICAL GRAIN
W	WEST, WIDE, CLOTHES
WASH	WASHER
WC	WATER CLOSET
WD	WOOD
WDM	WINDOW
WH	WATER HEATER
WP	WEATHERPROOF
WPRF	WEATHERPROOF DOOR
WPC	WEATHERPROOF
WVF	WELDED WIRE FABRIC
WVM	WELDED WIRE MESH
XFMR	TRANSFORMER

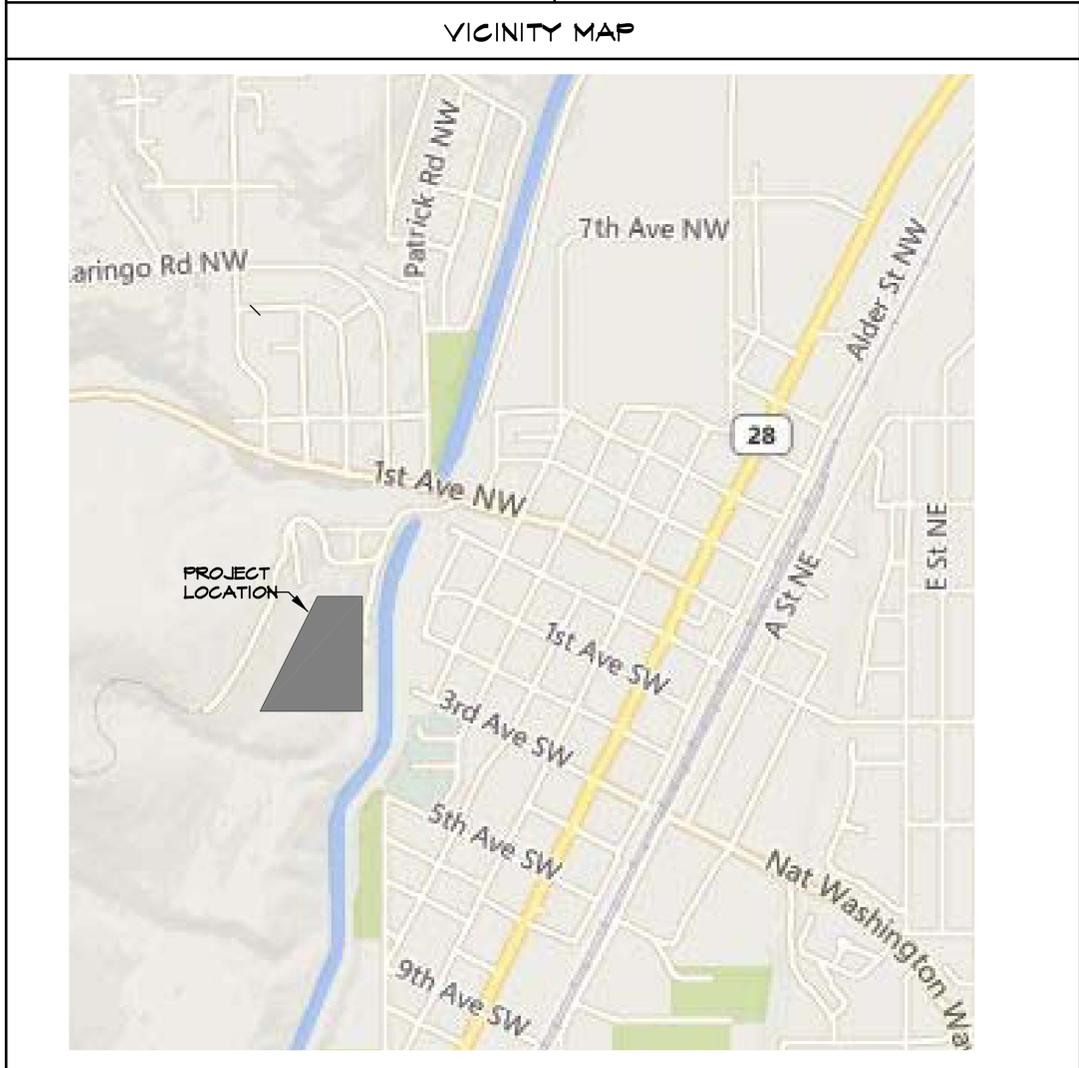
SYMBOLS	
THE FOLLOWING SYMBOLS IDENTIFY TYPICAL CONDITIONS AND ELEMENTS AND ARE APPLICABLE ONLY IF UTILIZED IN THE DOCUMENTS	
	WORKING POINT OR REFERENCE ELEVATION
	REVISION INDICATION
	TEST BORING
	SPOT ELEVATION
	EXISTING CONTOURS
	NEW CONTOURS
	PROPERTY CORNER
	PROPERTY LINE OR BOUNDARY LINE
	CENTER OR GRID LINE
	HIDDEN FEATURE OR RELATIONSHIP
	BREAK LINE
	FIRE HYDRANT
	MANHOLE
	CATCH BASIN
	POWER POLE
	FLOOR DRAIN
	WATER LINE
	GAS LINE
	SANITARY SEWER
	STORM DRAIN
	CLEAN OUT
	FLOOR DRAIN
	KEYED NOTE NUMBER (GENERAL NOTE)
	DISCIPLINE PREFIX
	DISCIPLINE
	GENERAL WORK
	SITE WORK
	CIVIL
	LANDSCAPING
	MAJOR DISCIPLINES
	ARCHITECTURE
	MECHANICAL
	ELECTRICAL
	DOOR OPENING NUMBER
	ROOM NUMBER
	EQUIPMENT NUMBER
	WINDOW OPENING NUMBER
	DETAIL NUMBER
	DETAIL INDICATOR
	DRAWING NUMBER WHERE DETAIL IS DRAWN
	SECTION NUMBER
	BUILDING SECTION OR EXTERIOR ELEVATION INDICATOR
	DRAWING NUMBER WHERE SECTION IS DRAWN
	SECTION INDICATOR
	DRAWING NUMBER WHERE SECTION IS DRAWN
	INTERIOR ELEVATION INDICATOR
	DRAWING NUMBER WHERE ELEVATION IS DRAWN
	ELEVATION NUMBER
	WALL TYPE IDENTIFIER
	EXISTING DOOR OPS. TO REMAIN
	EXISTING DR. & FR. TO BE REMOVED
	NEW DOOR & FRAME
	FOLDING PARTITION
	WINDOW
	EARTH
	GRAVEL, CRUSHED ROCK OR OTHER POROUS MATERIAL AS IDENTIFIED
	ASPHALT PAVEMENT
	CONCRETE
	BRICK
	CONCRETE MASONRY UNIT (CMU)
	CERAMIC OR CLAY TILE AS INDICATED
	STEEL
	ALUMINUM
	FIBERGLASS INSULATION
	RIGID BOARD INSULATION
	LOOSE FILL INSULATION
	EXTERIOR INSULATION & FINISH SYSTEM
	FIBROUS FIRE SAFING
	GLASS
	GYPSPUM BOARD
	METAL STUD WALL
	ACOUSTICAL CEILING TILE

PROJECT INFORMATION	
<b>A. PROJECT</b>	
NAME:	GRANT COUNTY JUVENILE DETENTION CENTER BUILDING LEVELING AND REPAIRS
ADDRESS:	303 ABLE ROAD EPHRATA, WASHINGTON 98823
<b>B. ENTITIES</b>	
1. OWNER:	GRANT COUNTY P.O. BOX 37 EPHRATA, WASHINGTON 98823 TOM GAINES (509) 754-2011
2. ARCHITECT:	ZBA ARCHITECTURE, P.S. N 421 RIVERSIDE, STE 860 SPOKANE, WA 99201 BILL FROEMKE (509) 456-8236
3. CONTRACTOR:	MJ TAKASAKI, INC. N 1620 MAMER RD. 99216 SPOKANE, WA. TOM WOLLNEY (509) 244-1080 OFFICE (360) 265-3072 CELL
<b>C. GENERAL PROJECT INFORMATION</b>	
1. NEW ( ) REMODEL (X) ADDITION ( ) ALTERATION ( )	
2. EXISTING LOT/BUILDING USE:	JUVENILE DETENTION
3. PROPOSED USE:	NO CHANGE
4. OCCUPANCY GROUP:	NO CHANGE (B, A, I-3)
5. CONSTRUCTION TYPE:	NO CHANGE (VB FOR B, IIA FOR I-3)
6. BUILDING HEIGHT:	NO CHANGE
7. FIRE SPRINKLER SYSTEM:	NO
8. GROSS BLDG AREA:	+/-16,127 SF
<b>D. ZONING</b>	
1. USE ZONE OF LOT:	NO CHANGE
2. LOT AREA:	NO CHANGE
3. LOT % COVERED BY BLDG:	NO CHANGE
4. PARKING:	NO CHANGE
5. SETBACKS & YARDS:	NO CHANGE

**GENERAL NOTES**

- VERIFY ALL CONDITIONS & DIMENSIONS PRIOR TO STARTING WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES WITH THE DRAWINGS.
- HAZARDOUS MATERIALS ARE NOT ANTICIPATED TO BE ENCOUNTERED DURING DEMOLITION OF EXISTING BUILDINGS. A 'GOOD FAITH' SURVEY HAS BEEN INCLUDED IN THE STATEMENT OF WORK. IF SUBJECT HAZARDOUS MATERIALS ARE ENCOUNTERED, CONTRACTOR SHALL STOP WORK IN THE AFFECTED AREA AND NOTIFY THE ARCHITECT. THE OWNER WILL BE RESPONSIBLE FOR SAMPLING, TESTING, AND REMOVAL OR ENCAPSULATION OF ANY HAZARDOUS MATERIAL. REMEDIATION WILL BE CONFINED TO WORK AREAS ONLY. OWNERS REMEDIATION DELAYS THAT STOP GENERAL CONSTRUCTION SHALL REQUIRE CONTRACT MODIFICATIONS AND EXTEND CONTRACT SUBSTANTIAL COMPLETION DATES ACCORDINGLY.
- ALL GLASS IN DOORS & WITHIN 24" OF DOORS SHALL BE TEMPERED GLASS.
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE FOLLOWING CODES AND REGULATIONS: 2012 IBC, 2012 UPC, 2012 IRC, 2012 IFB, LATEST EDITION OF THE NEC, AMERICANS WITH DISABILITIES ACT, FEDERAL FAIR HOUSING AMENDMENTS ACT & ANY OTHER ADOPTED OR APPLICABLE CODE OR REGULATION, INCLUDING WASHINGTON STATE AMENDMENTS TO THOSE LISTED ABOVE.
- THE DESIGN, ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS ETC., IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HAS NOT BEEN CONSIDERED BY THE ARCHITECT. THE CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE COMPLETION OF ALL SHEAR WALLS, ROOF AND FLOOR DIAPHRAGMS AND FINISH MATERIALS. THE CONTRACTOR SHALL PROVIDE THE NECESSARY BRACING TO PROVIDE STABILITY PRIOR TO THE APPLICATION OF THE ABOVE MENTIONED COMPONENTS. VISITS TO THE SITE BY THE ARCHITECT SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS.
- IT SHALL BE NOTED AND ASSUMED THAT THE CURRENT BUILDING AND ITS ADDITIONS WERE CONSTRUCTED TO MEET BUILDING CODES AND ORDINANCES AT THE TIME OF CONSTRUCTION. NO CHANGES TO CURRENT USE OR OCCUPANCIES ARE PROPOSED.
- UNDER CURRENT BUILDING CODES (2012 IBC) AN I-3 OCCUPANCY REQUIRES FULLY AUTOMATIC FIRE SPRINKLER SYSTEMS BE INSTALLED. THE CURRENT BUILDING IS NOT EQUIPPED WITH AUTOMATIC SPRINKLER SYSTEMS AND DOES NOT COMPLY WITH CURRENT CODES.
- WALLS (STRUCTURAL OR OTHERWISE) WILL NOT BE REMOVED OR RELOCATED AND IT IS THE INTENT ONLY TO STABILIZE EXISTING CONDITIONS. THE EXISTING STRUCTURE WILL NOT BE ALTERED. NEW FINISHES ARE PROPOSED DUE TO THE NATURE OF THE REPAIRS

SHEET INDEX	
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6102	OCCUPANCY AND EXIT DIAGRAMS
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52.0	FILE LOCATION PLAN
53.0	CONSTRUCTION DETAILS
A101	FLOOR PLAN - WALL AND CEILING REPAIR PLAN
A102	FLOOR PLAN - FLOOR AND FOUNDATION REPAIR PLAN
A103	FLOOR PLAN - DOOR REPAIR AND REPLACEMENT PLAN
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A105	FLOOR PLAN - PHOTO LOG COORDINATION PLAN
A201	EXTERIOR ELEVATIONS
A301	ARCHITECTURAL DETAILS
A601	SCHEDULES



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No.	DATE	BY

SHEET TITLE: INDEX & GENERAL INFORMATION

PROJECT TITLE: GRANT COUNTY JUVENILE DETENTION CENTER BUILDING REPAIRS

REGISTERED ARCHITECT

WILLIAM ARTHUR FROEMKE  
STATE OF WASHINGTON

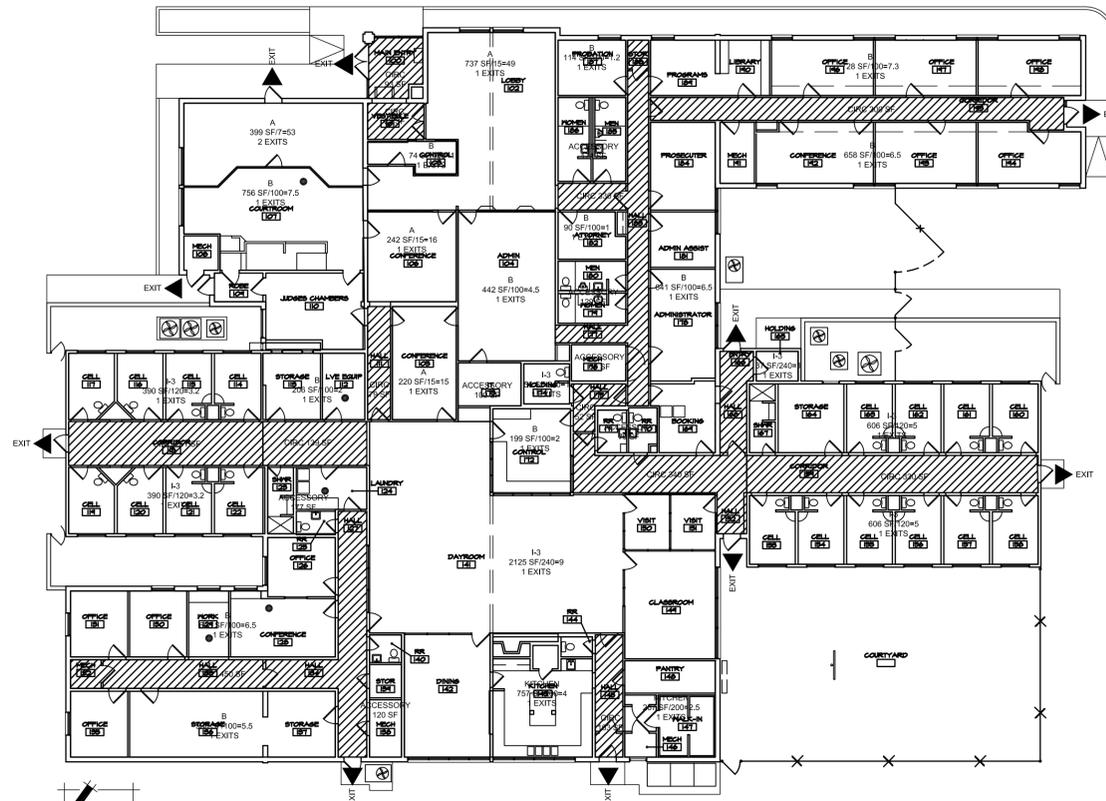
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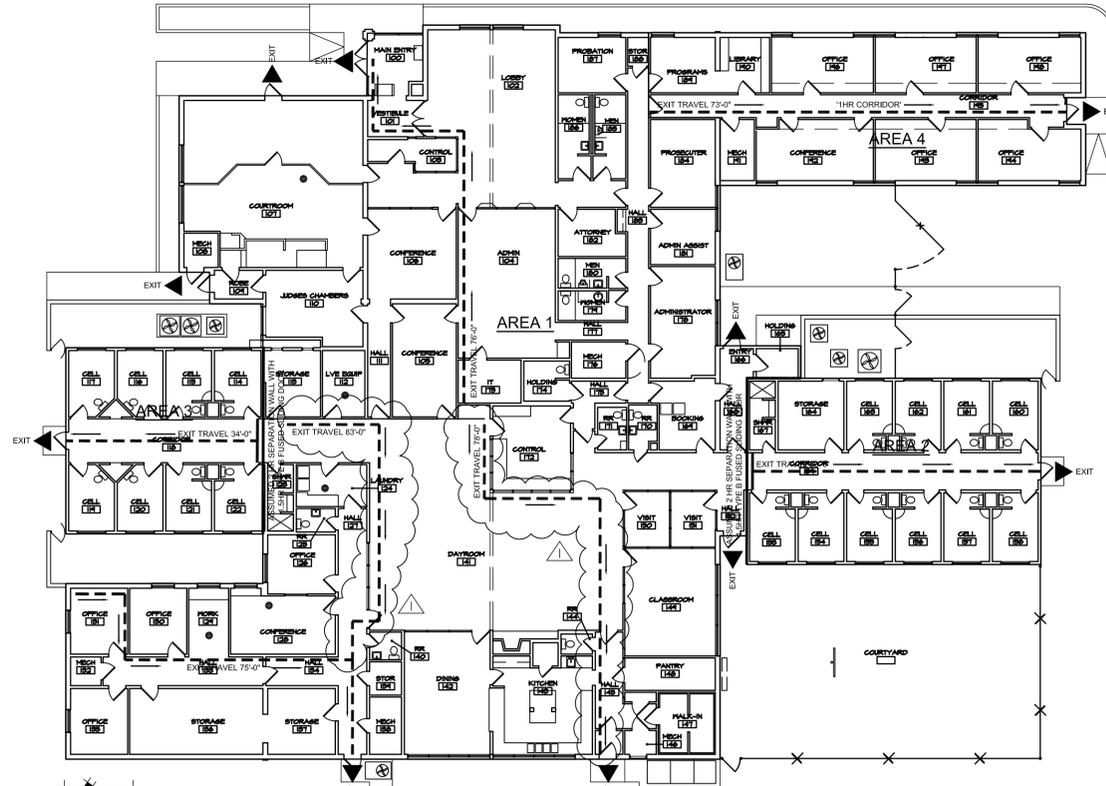
CHECKED: WAF

DATE: 02/08/16

DRAWING NO. 6101



1 OCCUPANCY / EXIT DIAGRAMS  
SCALE: 1/16" = 1'-0"



2 OCCUPANCY / EXIT DIAGRAMS  
SCALE: 1/16" = 1'-0"

GENERAL NOTES

1. THIS DIAGRAM IS PURELY SCHEMATIC AND BASED ON DRAWING INFORMATION RECEIVED FROM THE OWNER. INFORMATION HEREIN IS NOT DEEMED COMPLETE OR CONTAIN ALL MODIFICATIONS TO THE EXISTING BUILDING. CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD. ARCHITECT TAKES NO RESPONSIBILITY FOR MISSING OR INCORRECT INFORMATION.
2. INDICATED BUILDING AREA SEPARATIONS ARE ASSUMED TO BE CONTINUOUS FROM SLAB TO DECK.

AREA ANALYSIS

**AREA 1**

GROSS SF	11,562 SF
NET SF	10,632 SF
CONST TYPE	VB
OCC	B, A, 1-3
OCC LOAD	183*
EXITS REQD	2
EXITS PRVD	7

\*OCCUPANCY IS BASED ON NET SF TOTAL OCCUPIED SPACES AND DOES NOT INCLUDE ACCESSORY OR CIRCULATION AREAS AS FOLLOWS:

- 8149 SF (B, A, 1-3)
- 2483 SF (ACCESSORY, CIRCULATION)

**AREA 2**

GROSS SF	1674 SF
NET SF	1543 SF
CONST TYPE	11B (4HR)
OCC	1-3
OCC LOAD	10
EXITS REQD	1
EXITS PRVD	1

**AREA 3**

GROSS SF	1122 SF
NET SF	1045 SF
CONST TYPE	11B (4HR)
OCC	1-3
OCC LOAD	7
EXITS REQD	1
EXITS PRVD	1

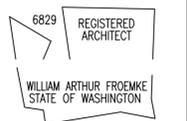
**AREA 4**

GROSS SF	1877 SF
NET SF	1686 SF
CONST TYPE	VB
OCC	B
OCC LOAD	14
EXITS REQD	1
EXITS PRVD	1



DATE	02/19/16	BY	TWS
No.			

SHEET TITLE: OCCUPANCY / EXIT DIAGRAMS  
PROJECT TITLE: GRANT COUNTY JUVENILE DETENTION CENTER BUILDING REPAIRS  
EPRHATA, WASHINGTON



PROJECT NO.	1528
DRAWN	TWS
CHECKED	MAF
DATE	02/08/16
DRAWING NO.	

G102

## GENERAL NOTES

### CODES & STANDARDS

- INTERNATIONAL BUILDING CODE – 2012 IBC
- AMERICAN SOCIETY OF CIVIL ENGINEERS – ASCE 7-10
- AMERICAN CONCRETE INSTITUTE – ACI 318-11
- AMERICAN INSTITUTE OF STEEL CONSTRUCTION – AISC 360
- AMERICAN WELDING SOCIETY – AWS D1.1
- NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION – NDS 2012
- ASTM STANDARDS FOR THE MATERIALS SPECIFIED.

### DESIGN & STRUCTURAL CRITERIA

- PROJECT LOCATION: EPHRATA WASHINGTON
- OCCUPANCY CATEGORY: CATEGORY II
- ROOF LOADS
  - LIVE LOAD: 20 PSF
  - DEAD LOAD: 15 PSF
  - MINIMUM DESIGN SNOW LOAD: 30 PSF

### MISCELLANEOUS

- THE CONTRACTOR AND SUB-TRADES SHALL FURNISH ALL REQUIRED MATERIAL, LABOR, EQUIPMENT AND PERFORM ALL WORK AS NECESSARY, AS INDICATED ON THE PROJECT DOCUMENTS, OR AS REASONABLY INFERRED TO EXECUTE THE SCOPE OF WORK FOR A PROPERLY FINISHED, COMPLETE JOB.
- THE QUALITY OF WORKMANSHIP SHOULD BE SET AND SUPERVISED BY THE CONTRACTOR TO PASS BUILDING DEPT. OR ENGINEER INSPECTION FOR ROUGH CONSTRUCTION. THE LEVEL OF QUALITY AND TOLERANCE SHOULD BE APPROPRIATE FOR THE INSTALLED ELEMENT TO RECEIVE THE NEXT IN-LINE FINISH ASPECT OF CONSTRUCTION.
- THE PURPOSE OF PROJECT DRAWINGS IS TO DEPICT THE OVERALL SCOPE OF THE PROJECT. THE PROJECT DRAWINGS HAVE BEEN DEVELOPED TO SHOW A LEVEL OF DETAIL WITH THE OBJECTIVE OF PLAN CHECK APPROVAL AND ISSUANCE OF A BUILDING PERMIT. THIS MODERATE LEVEL OF DETAIL USED SHOULD ALLOW FOR A VARIETY OF STANDARD CONSTRUCTION METHODS AND SEQUENCES. THE PROJECT DRAWINGS ARE INTENDED TO COMPLY WITH THE ORDINANCES, RULES AND REGULATIONS OF THE JURISDICTION IN WHICH THE BUILDING IS LOCATED.
- THE CONTRACTOR IS RESPONSIBLE FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK THAT CONFORMS TO THE REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) SAFETY AND HEALTH STANDARDS FOR THE CONSTRUCTION INDUSTRY.
- THE CONTRACT STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNOLOGIES, SEQUENCES AND PROCEDURES.
- WHERE REFERENCE IS MADE TO VARIOUS TEST STANDARDS FOR MATERIALS, SUCH STANDARDS SHALL BE THE LATEST EDITION AND/OR ADDENDUM.
- OPTIONS ARE FOR CONTRACTOR'S CONVENIENCE. THEY SHALL BE RESPONSIBLE FOR ALL CHANGES NECESSARY IF THEY CHOOSE AN OPTION AND THEY SHALL COORDINATE ALL DETAILS.
- NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS. WHERE NO SPECIFIC DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT.
- TYPICAL DETAILS ARE NOT CUT ON DRAWINGS, BUT APPLY UNLESS NOTED OTHERWISE.
- WHERE ANY DISCREPANCIES OCCUR BETWEEN PLANS, DETAILS, GENERAL STRUCTURAL NOTES AND SPECIFICATIONS, THE GREATER REQUIREMENTS SHALL GOVERN.
- ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE STRUCTURAL ENGINEER BEFORE PROCEEDING WITH RELATED WORK.
- VISITS TO THE JOBSITE BY THE ENGINEER TO OBSERVE CONSTRUCTION DO NOT IN ANY WAY MEAN THAT THEY ARE THE GUARANTORS OF THE CONTRACTORS WORK, NOR SUPERVISION, NOR SAFETY AT THE JOBSITE.
- ANY ENGINEERING DESIGN PROVIDED BY OTHERS AND SUBMITTED FOR REVIEW SHALL BEAR THE SEAL OF A CIVIL OR STRUCTURAL ENGINEER REGISTERED IN THE STATE IN WHICH THE PROJECT IS LOCATED.

## STRUCTURAL STEEL

- ALL CONSTRUCTION SHALL BE PER THE LATEST AISC AND AWS CODES.
- STEEL PROPERTIES

CHANNELS, PLATES AND ANGLES = ASTM A36  $F_y = 36$  KSI  
 BOLTS = ASTM A325  
 ANCHOR RODS (BOLTS) = ASTM F1554  $F_y = 36$  KSI  
 NUTS = ASTM A563  
 WASHERS = ASTM F436  
 THREADED RODS = ASTM A36  $F_y = 36$  KSI  
 WELDING ELECTRODES = E70XX, U.N.O.  
 DRILL IN ANCHORS = A36 RODS WITH HILTI HY-150, SIMPSON SET, REDHEAD EPCON 7 OR SER APPROVED EQUAL WITH CURRENT ICC REPORT

- ALL BOLTS, ANCHOR BOLTS, EXPANSION/ADHESIVE ANCHORS, ETC. SHALL BE INSTALLED WITH STEEL WASHERS.
- ALL EXPOSED EXTERIOR STEEL, BOLTS AND ANCHORS SHALL BE HOT DIP GALVANIZED PER ASTM A123 AND ASTM A153.

## STATEMENT OF SPECIAL INSPECTIONS

- SPECIAL INSPECTION AND TESTING SHALL BE PROVIDED BY THE OWNER IN ACCORDANCE WITH CHAPTER 17 OF THE IBC.
- ALL SPECIAL INSPECTORS SHALL BE UNDER THE SUPERVISION OF A REGISTERED CIVIL OR STRUCTURAL ENGINEER LICENSED IN THE STATE IN WHICH THE WORK IS TO BE PERFORMED. ALL INSPECTIONS SHALL BE PERFORMED BY EXPERIENCED PERSONNEL MEETING THE REQUIREMENTS OF THE IBC AND AC291 "ACCREDITATION CRITERIA FOR SPECIAL INSPECTION AGENCIES" AND SHALL BE APPROVED BY THE LICENSED ENGINEER OF RECORD.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE SPECIAL INSPECTOR OR SPECIAL INSPECTION AGENCY AT LEAST TWO WORKING DAYS PRIOR TO PERFORMING ANY WORK THAT REQUIRES SPECIAL INSPECTION. ALL WORK PERFORMED WITHOUT THE REQUIRED SPECIAL INSPECTION IS SUBJECT TO REMOVAL.

## PILES

- TESTING SHALL BE CONDUCTED ON INSTALLED PILES AS REQUIRED IN THE PROJECT SPECIFICATIONS.
- THE OWNER'S AGENT OR OWNER'S SPECIAL INSPECTION FIRM SHALL WITNESS AND INSPECT ALL PILE INSTALLATIONS.
- REFER TO THE PROJECT SPECIFICATIONS FOR MORE INFORMATION REGARDING PILES, THEIR DESIGN, TESTING AND SO FORTH.

## WOOD

- ALL WOOD TO BE CONSTRUCTED USING STANDARD PRACTICES.
- PROVIDE ALL ACCESSORY ITEMS FOR ENGINEERED WOOD PRODUCTS (BLOCKS, CLIPS, STRAPS, STIFFENERS, ETC) DESIGNED BY THE MANUFACTURER AS REQUIRED.
- FOLLOW ALL MANUFACTURERS RECOMMENDATIONS FOR INSTALLATION OF ALL ENGINEERED WOOD PRODUCTS AND ALL FRAMING CONNECTORS, HANGERS AND ANCHORS.
- PROVIDE FULL BEARING FOR ALL FRAMING MEMBERS UNLESS SHOWN OTHERWISE.
- ALL WOOD FRAMING MEMBERS SHALL BE D.F. #2 UNLESS NOTIFIED OTHERWISE ON THE PLANS. ALL GLUE LAMINATED BEAMS (GLB) SHALL BE 24F-V4 (24F-V8 FOR CANTILEVER SPANS) AND AC V12 FOR EXPOSED APPLICATIONS UNLESS BEAM IS PROTECTED FROM WEATHER THEN 24F IS ACCEPTABLE.
- ALL TIMBER SHALL BE CONSTRUCTED ACCORDING TO MINIMUM STANDARDS OUTLINED IN CHAPTER 23 OF THE 2012 IBC INCLUDING USING THE FASTENING SCHEDULE (TABLE 2304.9.1 OF 2012 IBC), EXCEPT AS NOTED DIFFERENTLY ON PLANS.
- ALL LUMBER IN CONTACT WITH GROUND, CONCRETE, OR EXPOSED TO WEATHER SHALL BE PRESSURE TREATED. ALL METAL EXPOSED TO WEATHER OR IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE STAINLESS STEEL, HOT DIPPED GALVANIZED (MIN. G180) OR OTHERWISE PROTECTED AGAINST CORROSION.

## SHOP DRAWINGS

- THE GENERAL CONTRACTOR WILL REVIEW AND STAMP ALL SHOP DRAWINGS AND PRODUCT DATA FOR CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS PRIOR TO SUBMISSION. ANY SHOP DRAWINGS OR PRODUCT DATA NOT REVIEWED AND STAMPED BY THE GENERAL CONTRACTOR WILL BE RETURNED WITHOUT REVIEW.
- ANY SHOP DRAWING NOT CHECKED AND INITIALED BY THE SUPPLIER/DETAILER PRIOR TO SUBMITTING FOR ARCHITECTURAL AND ENGINEERING REVIEW, WILL BE RETURNED WITHOUT REVIEW.
- THE CONSTRUCTION DOCUMENTS MAY NOT BE REPRODUCED FOR USE AS SHOP DRAWINGS.
- ELECTRONIC FILES OF CONSTRUCTION DOCUMENTS WILL NOT BE MADE AVAILABLE FOR USE AS SHOP DRAWINGS.
- SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER IN ELECTRONIC FORMAT.
- REVIEW OF SHOP DRAWINGS BY THE ENGINEER IS FOR GENERAL CONFORMANCE WITH THE DESIGN CONCEPT AND GENERAL COMPLIANCE WITH THE CONTRACT DOCUMENTS. REVIEW OF SUCH SHOP DRAWINGS BY THE ENGINEER SHALL NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR CORRECTNESS OF DIMENSIONS, FABRICATION DETAILS, SPACE REQUIREMENTS, AND ERRORS IN THE SHOP DRAWINGS, OR FOR DEVIATIONS FROM THE CONTRACT DRAWINGS OR SPECIFICATIONS UNLESS THE CONTRACTOR HAS SPECIFICALLY CALLED ATTENTION TO SUCH DEVIATIONS IN WRITING BY A LETTER ACCOMPANYING THE SHOP DRAWINGS AND THE ENGINEER APPROVES SUCH CHANGE OR DEVIATION IN WRITING.

## CONCRETE

- CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF ACI 301, "STANDARD SPECIFICATIONS FOR STRUCTURAL CONCRETE" AND ACI 318, "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE." ALL REINFORCING SHALL CONFORM TO THE CRSI SPECIFICATIONS & HANDBOOK. CONCRETE PLACEMENT SHALL MEET ALL COLD WEATHER AND HOT WEATHER REQUIREMENTS OUTLINED IN ACI 306 & 305 RESPECTIVELY.
- ADDITION OF WATER TO THE BATCH FOR MATERIAL WITH INSUFFICIENT SLUMP WILL NOT BE PERMITTED, UNLESS THE SUPPLIER HAS SPECIFICALLY WITHHELD WATER FROM THE BATCH AT THE PLANT. IN SUCH CASE THE MIX DESIGN AND TRUCK TICKET MUST CLEARLY STATE THE MAXIMUM AMOUNT OF WATER THAT CAN BE ADDED TO THE BATCH ON SITE. IN NO CASE SHALL THE DESIGN WATER TO CEMENTITIOUS MATERIAL RATIO BE EXCEEDED.
- CONCRETE CONTAINING SUPERPLASTICIZING ADMIXTURE SHALL HAVE A SLUMP OF 4" +/- 1", TO BE FIELD VERIFIED, PRIOR TO ADDING ADMIXTURE, AND NOT EXCEEDING 8" AT PLACEMENT.
- MECHANICALLY VIBRATE ALL CONCRETE WHEN PLACED, EXCEPT THAT SLABS ON GRADE NEED BE VIBRATED ONLY AROUND UNDER-FLOOR DUCTS, SLAB EDGES, REINFORCING, KEYS, ETC.
- IF CONCRETE IS PLACED BY THE PUMP METHOD, SUPPORTS SHALL BE PRODUCED FOR THE HOSE. THE HOSE SHALL NOT BE ALLOWED TO CONTACT THE REBAR OR TENDONS. THIS REQUIREMENT IS MANDATORY. DISCHARGE SHALL BE DIRECTED SO AS TO PREVENT DISPLACEMENT OF REBAR, TENDONS, OR ACCESSORIES.
- CONCRETE PROPERTIES:

USE: STRENGTH: MAX W/C: AIR:

WALLS	4,500 PSI	.45	5%+1%
U.N.O.	3,000 PSI	.47	5%+1%

- ALL CONCRETE HAS BEEN DESIGNED USING 2500 PSI COMPRESSIVE STRENGTH AND THEREFORE MATERIAL TESTING SUCH AS COMPRESSIVE STRENGTHS ARE NOT REQUIRED. ALL OTHER INSPECTIONS ARE REQUIRED AS SPECIFIED BY THE IBC.
- REINFORCING SHALL BE CONTINUOUS AROUND ALL CORNERS AND THROUGH CONSTRUCTION JOINTS UNLESS SHOWN OTHERWISE.
- CONCRETE COVER FOR MAIN REINFORCEMENT SHALL BE PROVIDED AS FOLLOWS, (U.N.O.):

CAST AGAINST & EXPOSED TO EARTH  
MIN COVER (IN)  
3"

EXPOSED TO EARTH OR WEATHER  
NO. 6 THROUGH NO 18 BARS  
NO. 5 BARS AND SMALLER

2"  
1 1/2"

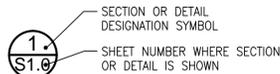
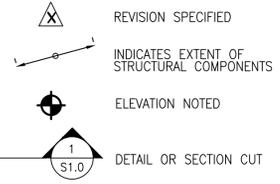
- ALL HOOKS ON ALL BARS SHALL BE STANDARD 90 DEGREE HOOKS UNLESS SHOWN OTHERWISE.
- ALL CONDUITS, GROUND WIRES, DRAINS, ANCHOR BOLTS, OTHER EMBEDDED ITEMS, ETC. SHALL BE IN PLACE BEFORE CONCRETE PLACEMENT.
- REINFORCING LAP SPLICES IN CONCRETE SHALL BE PER TYPICAL DETAIL UNLESS NOTED OTHERWISE. ALL SPLICE LOCATIONS ARE SUBJECT TO APPROVAL. PROVIDE BENT CORNER BARS TO MATCH AND LAP WITH HORIZONTAL BARS AT CORNERS AND INTERSECTIONS OF FOOTINGS AND WALLS.
- ALL FIELD BENDING OF REINFORCING SHALL BE STANDARD 90 DEGREE HOOKS AS DEFINED IN CURRENT ACI 318 UNLESS NOTED OR DETAILED OTHERWISE. REINFORCING STEEL SHALL NOT BE BENT OR STRAIGHTENED IN A MANNER INJURIOUS TO THE CONCRETE OR STEEL.
- WHEN TOTAL NUMBER OF REINFORCING BARS IS SHOWN ON DESIGN DRAWINGS AND SPACING IS NOT SPECIFIED, BARS SHALL BE EQUALLY SPACED.
- DETAILS OF REINFORCING NOT SHOWN IN THESE PLANS SHALL BE DONE IN ACCORDANCE WITH ACI 315 AND ACI 318.
- ALL SLABS-ON-GRADE SHALL HAVE CONTROL JOINTS CUT IN CONCRETE WITHIN 8 HOURS OF PLACEMENT AT A SPACING NO GREATER THAN 12' O.C.E.W. (U.N.O. ON PLANS).

### ANCHORAGE

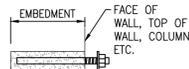
- DRILLED-IN EXPANSION ANCHORS: "STRONG-BOLT" BY SIMPSON STRONG-TIE ANCHOR SYSTEMS, ICC EVALUATION REPORT 1771.
- DRILLED-IN EPOXY ANCHORS AND EMBEDDED REINFORCING: "HILTI HY200" ADHESIVE ANCHOR SYSTEM FOR CONCRETE, SOLID MASONRY OR BRICK BY HILTI FASTENING SYSTEMS, ICC EVALUATION REPORT ESR-3187.
- CONCRETE SCREWS: POWERS WEDGE-BOLT, ICC EVALUATION REPORT ER-2523.
- PRODUCTS BY OTHER MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL. ICC EVALUATION REPORT FOR CAPACITIES IN CRACKED CONCRETE REQUIRED.

## LEGEND AND ABBREVIATIONS

ACI	AMERICAN CONCRETE INSTITUTE	L	STEEL ANGLE
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	LG	LIGHT GAUGE LONG MAX
ALT	ALTERNATE	MECH	MECHANICAL
APPROX	APPROXIMATE	MFR	MANUFACTURER
AB	ANCHOR BOLTS	MIN	MINIMUM
ARCH	ARCHITECTURAL	MISC	MISCELLANEOUS
ASTM	AMERICAN SOCIETY FOR TESTING MATERIAL	NFC	NOT FOR CONSTRUCTION
	BETWEEN BUILDING	NTS	NOT TO SCALE
	BLOCKING	OC	ON CENTER
BTWN	BETWEEN BUILDING	OPP	OPPOSITE
BLK'G	BLOCKING	OWJ	OPEN WEB JOIST
BM	BEAM	PL	PLATE
BOT	BOTTOM OF	PRFAB	PREFABRICATED
BOC	BOTTOM OF CONCRETE	PT	PRESSURE TREATED
BOS	BOTTOM OF STEEL/SLAB BEARING	REF	REFERENCE
BRG	BEARING	REINF	REINFORCEMENT
BTB	BACK TO BACK	REQ'D	REQUIRED
C	STEEL CHANNEL	REV	REVISION/REVISED
CIP	CAST IN PLACE	SCHED	SCHEDULE
CJ	CONTROL JOINT	SIM	SIMILAR
CL	CENTERLINE	SOG	SLAB ON GROUND
CMU	CONCRETE MASONRY UNIT	SPA	SPACE, SPACING
COL	COLUMN	SPEC	SPECIFICATION(S)
CONC	CONCRETE	SQ	SQUARE
CONN	CONNECTION	STD	STANDARD
CONST	CONSTRUCTION	STRUCT	STRUCTURAL
CONT	CONTINUOUS	SYM	SYMMETRICAL
DEMO	DEMOLISH	T&B	TOP AND BOTTOM
DIA OR Ø	DIAMETER	THRU	THROUGH
DIM	DIMENSION	TOC	TOP OF CONCRETE
DJ	DOUBLE JOIST	TOF	TOP OF FOOTING
DWG	DRAWING	TOS	TOP OF STEEL/SLAB
EA	EACH	TOW	TOP OF WALL
EF	EACH FACE	TYP	TYPICAL
EJ	EXPANSION JOINT	UNO	UNLESS NOTED OTHERWISE
EL OR ELEV	ELEVATION	VERT	VERTICAL
EMBED	EMBEDMENT	W/	WITH
ENG	ENGINEER	WF	WIDE FLANGE
EQ	EQUAL	WP	WORK POINT
EW	EACH WAY	WT	WEIGHT
EXIST OR (E)	EXISTING		
EXP	EXPANSION		
EXT	EXTERIOR		
FF	FINISH FLOOR		
FLR	FLOOR		
FND	FOUNDATION		
FTG	FOOTING		
FV	FIELD VERIFY		
GA	GAUGE		
GALV	GALVANIZED		
GEN	GENERAL		
HSA	HEADED STUD ANCHOR		
HORIZ	HORIZONTAL		
HSS	HOLLOW STRUCT STEEL		
IBC	INT'L BUILDING CODE		
INT	INTERIOR		



THREADED ANCHOR DIAMETER	VERTICAL AND HORIZONTAL ANCHOR EMBEDMENT LENGTH	
	CONCRETE	MASONRY
1/2"	4 1/2"	4 1/2"
5/8"	5 1/2"	5"
3/4"	6 1/4"	6 3/8"
7/8"	7 1/8"	---
1"	9"	---



PROVIDE ADHESIVE ANCHORS PER THIS SCHEDULE UNLESS NOTED OTHERWISE ON PLANS OR DETAILS.

ADHESIVE ANCHORS USED IN MASONRY SHALL BE INSTALLED IN GROUDED CELLS. IF GROUDED CELLS ARE NOT ENCOUNTERED, BREAK INTO CELL AND GROUT SOLID FOR 8" MINIMUM ABOVE AND BELOW BOLT LOCATION.

THREADED ANCHORS SHALL BE INSTALLED WITH STEEL WASHERS.

APPROVED ADHESIVE ANCHORS ARE HILTI HY 200 (ESR-3187), SIMPSON STRONG-TIE SET (ESR-1772), POWERS AC100+GOLD (ESR-2582), OR APPROVED EQUIVALENT.

## 1 ADHESIVE ANCHOR BOLTS

NTS

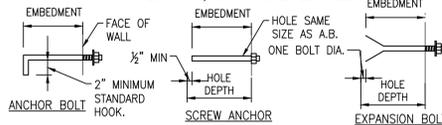
BOLT DIAMETERS	VERT. BOLT EMBEDMENT LENGTH	HORIZ. BOLT EMBEDMENT LENGTH
1/2"	6"	4"
5/8"	6"	4"
3/4"	7"	5"
7/8"	8"	6"
1"	9"	7"
1 1/4"	11"	9"
1 1/2"	12"	10"

PROVIDE ANCHORS, ANCHOR BOLTS AND EXPANSION BOLTS PER THIS SCHEDULE UNLESS NOTED OTHERWISE ON PLANS OR DETAILS. ANCHOR BOLTS AND EXPANSION BOLTS SHALL BE INSTALLED WITH STEEL WASHERS.

APPROVED EXPANSION BOLTS IN MASONRY ARE SIMPSON (ICBO #ER-3631), HILTI (ICBO #ER-5171) OR POWERS POWER-STUD+ SD1 (ESR-2966) APPROVED EQUIVALENT.

APPROVED EXPANSION BOLTS IN CONCRETE ARE HILTI KWIK-BOLT II (ICBO #ER-4627), ITW RAMSET/RED HEAD TRUBOLT (ICBO #1372), SIMPSON (ICBO #ER-3631) OR POWERS POWER-STUD+ SD1 (ESR-2818) APPROVED EQUIVALENT.

APPROVED SCREW ANCHORS ARE HILTI KWIK HUS/HUS-EZ (ESR-3027, ESR-3056), SIMPSON TITEN HD (ESR-2713, ESR-1056), RED HEAD LARGE DIA. TAPCON (ESR-2202, ESR-1671), POWERS WEDGE BOLT+ (ESR-2526, ESR-1678) OR APPROVED EQUIVALENT.

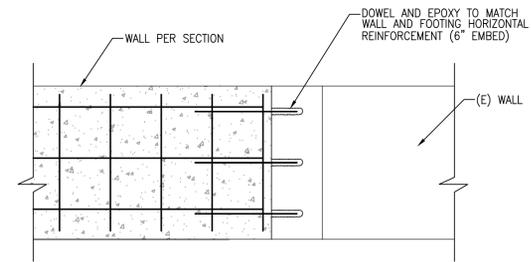


## 2 ANCHOR BOLTS

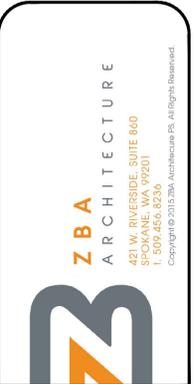
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## 3 NEW TO EXISTING

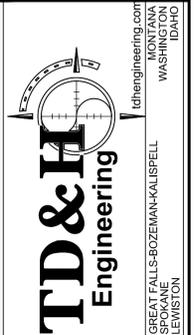
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GRADE BEAMS TO EXISTING FOUNDATIONS



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No.	DATE	BY



GENERAL NOTES & TYPICAL DETAILS

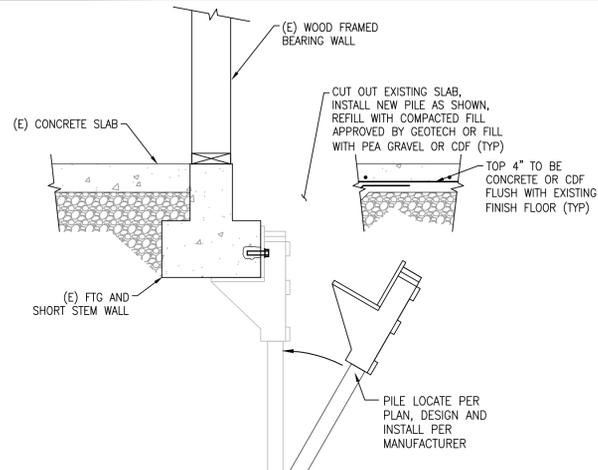
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**GRANT COUNTY JUVENILE DETENTION CENTER BUILDING REPAIRS**  
 EPHRATA, WASHINGTON



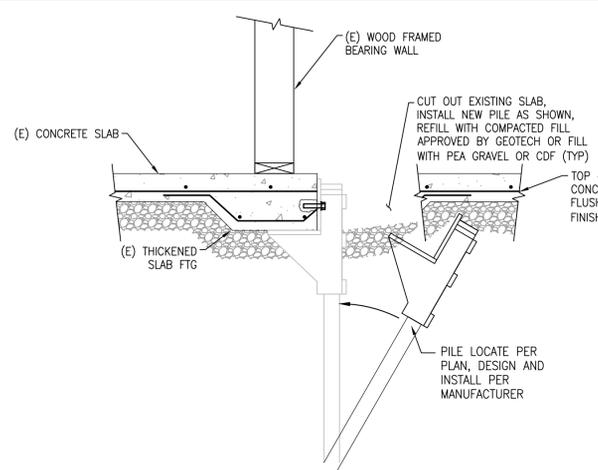
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 CHECKED TES  
 DATE 2/19/2016  
 DRAWING NO.

S.I.O.

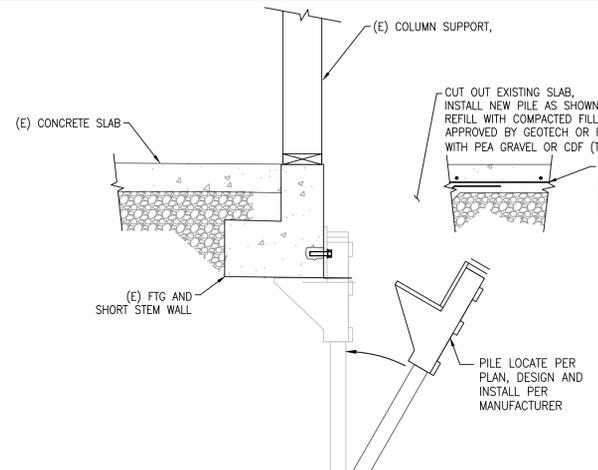




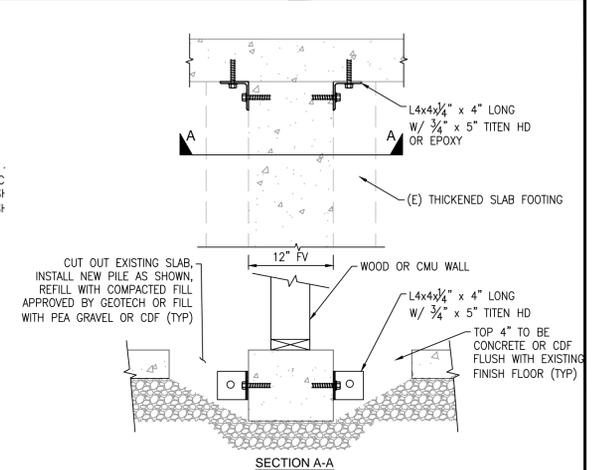
**1** PILE AT INTERIOR STEM WALL/FTG  
NTS



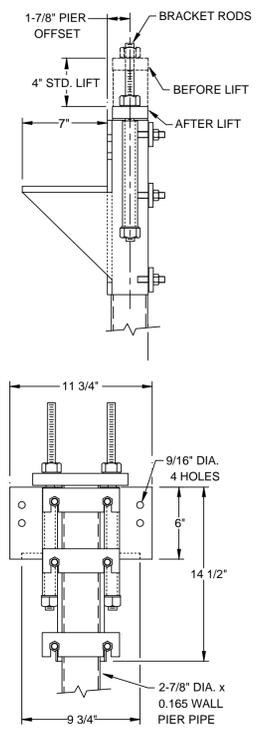
**2** PILE AT INTERIOR CONT. FTG  
NTS



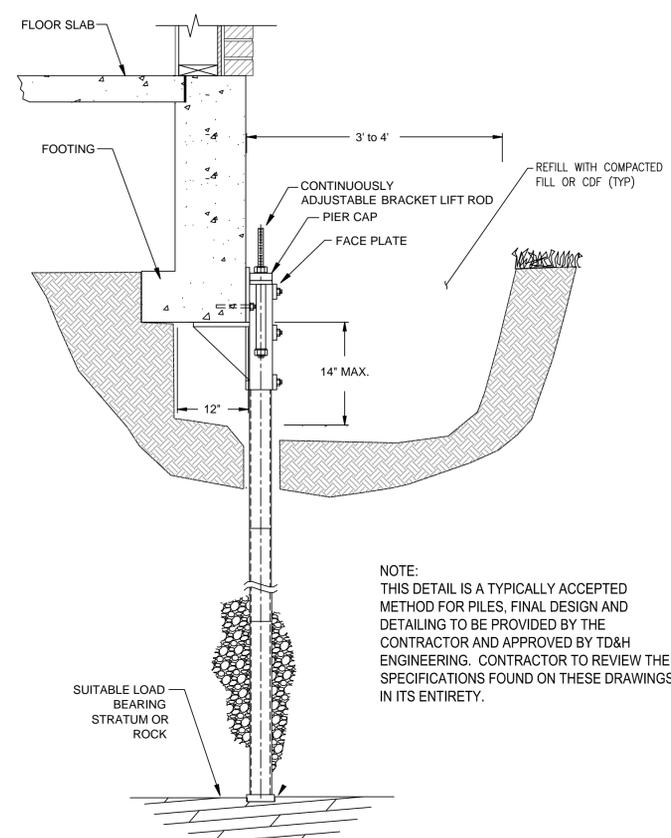
**3** PILE AT INTERIOR SPOT FTG  
NTS



**4** FTG TO FW CONNECTION  
NTS



Utility Bracket Details



Utility Bracket Application Drawing

NOTE:  
THIS DETAIL IS A TYPICALLY ACCEPTED METHOD FOR PILES. FINAL DESIGN AND DETAILING TO BE PROVIDED BY THE CONTRACTOR AND APPROVED BY TD&H ENGINEERING. CONTRACTOR TO REVIEW THE SPECIFICATIONS FOUND ON THESE DRAWINGS IN ITS ENTIRETY.

**9** PILE AT EXTERIOR FOUNDATION WALL  
NTS



No.	DATE	BY

**TD&H Engineering**  
MONTANA  
WASHINGTON  
WASHINGTON  
IDAHO

GREAT FALLS-BOZEMAN-KALISPELL  
SPOKANE  
LEWISTON

CONSTRUCTION DETAILS

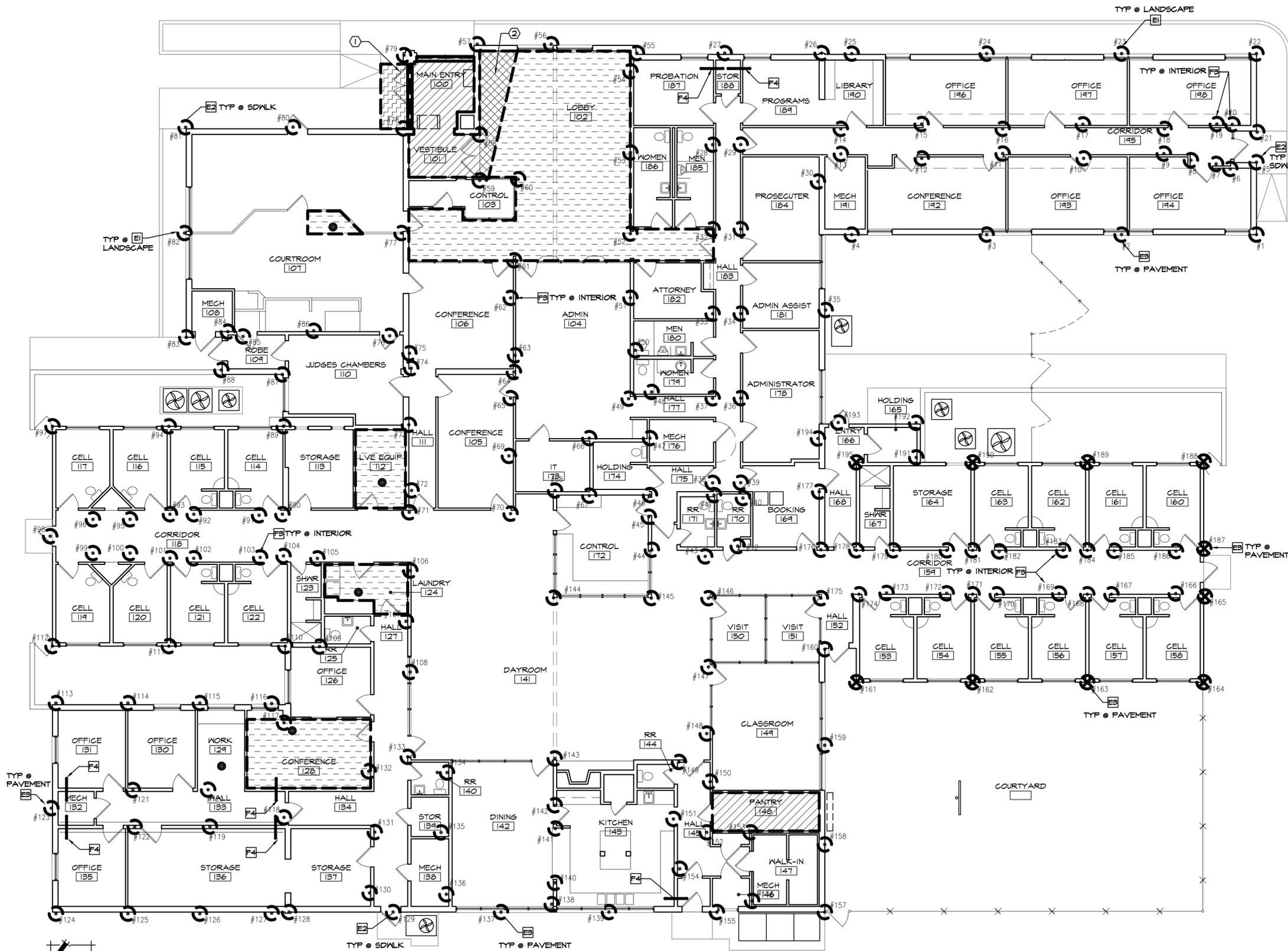
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**GRANT COUNTY JUVENILE DETENTION CENTER BUILDING REPAIRS**  
EPRHATA, WASHINGTON



PROJECT NO.	1528
DRAWN	6X6
CHECKED	TES
DATE	2/19/2016
DRAWING NO.	

SS.0





1 FLOOR PLAN - FLOOR AND FOUNDATION REPAIR PLAN

SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO EXECUTION OF WORK.
2. SALVAGE TRIM AND BASE WHEREVER POSSIBLE AND REINSTALL TO PRE-EXISTING CONDITION. REFINISH AS NECESSARY TO MATCH PRE-EXISTING CONSTRUCTION.
3. NEW TRIM/BASE SHALL MATCH EXISTING.
4. PAINT ENTIRE WALLS WHEN SPOT MATCHING EXISTING WILL NOT PROVIDE CONSISTENT COLOR AND SHEEN.
5. WHERE ADJUSTMENTS FOR GAPS IN TRIM AND FRAMES IS UNATTAINABLE PROVIDE PAINTABLE SEALANT AND PAINT TO MATCH ADJACENT SURFACES.
6. SEE FINISH FLOOR PLANS FOR NEW FLOORING LOCATIONS.
7. SEE STRUCTURAL PLANS FOR DETAILED HELICAL AND BRACKET PLATE TYPES AND INSTALLATIONS.

REPAIR TYPE LEGEND



REPAIR TYPE SCHEDULE

- | No. | DATE | BY |
|-----|------|----|
|     |      |    |
|     |      |    |
|     |      |    |
|     |      |    |
- F1 FLOOR STAGE 1 - REMOVE EXISTING FLOORING IN DAMAGED/CRACKING AREAS IN FULL UNITS (FIELD VERIFY). REPAIR AREAS INDICATED. GRIND AND STABILIZE CRACKING WITH SEAM SEALER/FILLER AND FINISH FLOAT TO BE FLUSH WITH ADJACENT SURFACES. INSTALL NEW FLOORING AT REPAIRED AREAS TO MATCH EXISTING FINISHES (SEE FINISH FLOOR PLAN)
  - F2 FLOOR STAGE 2 - REMOVE EXISTING FLOORING AS INDICATED. PREP EXISTING CONC SLAB FOR NEW FLOOR FINISHES. (SEE FINISH FLOOR PLAN FOR ADDITIONAL INFORMATION)
  - F3 FLOOR STAGE 3 - SAWCUT AND REMOVE EXISTING CONC SLAB AND EXCAVATE TO ACCESS FOUNDATIONS PER STRUCTURAL DESIGNS. AFTER COMPLETION OF STRUCTURAL UPGRADES FILL AND RECOMPACT AREA TO 95% AND MATCH EXISTING SUBBASE AND SOG PROFILES. POUR BACK CONC SLAB TO BE FLUSH WITH EXISTING FLOOR. INSTALL NEW FLOOR FINISH TO MATCH EXISTING (SEE F3 FLOOR SLAB DETAILS FOR ADDITIONAL INFORMATION)
  - F4 FLOOR STAGE 4 - SAWCUT AND REMOVE EXISTING CONC SLAB AND EXCAVATE TO ACCESS FOUNDATIONS PER STRUCTURAL DESIGNS. AFTER COMPLETION OF STRUCTURAL UPGRADES FILL AND RECOMPACT AREA TO 95% AND MATCH EXISTING SUBBASE AND SOG PROFILES. POUR BACK CONC SLAB TO BE FLUSH WITH EXISTING FLOOR. INSTALL NEW FLOOR FINISH TO MATCH EXISTING (SEE F4 FLOOR SLAB DETAILS FOR ADDITIONAL INFORMATION)
  - E1 EXTERIOR EXCAVATION 1 - EXCAVATE AND EXPOSE FOUNDATIONS AS REQUIRED TO INSTALL STRUCTURAL REPAIRS. PROTECT AND MAINTAIN EXISTING LANDSCAPE PLANTINGS TO ON-SITE TEMPORARY LOCATION AS DIRECTED BY OWNER. MAINTAIN AND PROTECT UTILITIES INCLUDING IRRIGATION SYSTEMS. REPLACE AND COMPACT SOILS AFTER STRUCTURAL REPAIRS ARE COMPLETE AND REINSTALL ALL LANDSCAPING TO PRE-EXISTING CONDITIONS - INCLUDING PLANTINGS AND ROCK MULCH. REPLACE LANDSCAPE PLANTINGS THAT ARE DEEMED UNSUITABLE OR HAVE EXPIRED WITH LIKE SPECIMENS (SEE E1 EXTERIOR EXCAVATION DETAIL FOR ADDITIONAL INFORMATION)
  - E2 EXTERIOR EXCAVATION 2 - SAWCUT AND REMOVE EXISTING EXTERIOR CONC WALKS AND INTERIOR CONC SLAB. EXCAVATE AND EXPOSE FOUNDATIONS AS REQUIRED TO INSTALL STRUCTURAL REPAIRS. REINSTALL ALL CONC FLATWORK TO PRE-EXISTING CONDITIONS (SEE STRUCTURAL DRAWINGS)
  - E3 EXTERIOR EXCAVATION 3 - SAWCUT AND REMOVE EXISTING ASPHALT AND BASE TO EXPOSE FOUNDATIONS AS REQUIRED TO INSTALL STRUCTURAL REPAIRS. FILL AND COMPACT REPAIR AREA WITH GDF (FUTURE ASPHALT PAVEMENT RESURFACING UNDER SEPARATE CONTRACTS)

KEYED NOTES

- 1 REMOVE WALK THIS AREA. REPLACE AND ADJUST TO MATCH NEW MAIN ENTRY FLOOR
- 2 TRANSITION AREA AS REQUIRED FOR SMOOTH TRANSITION TO EXISTING LOBBY FLOOR



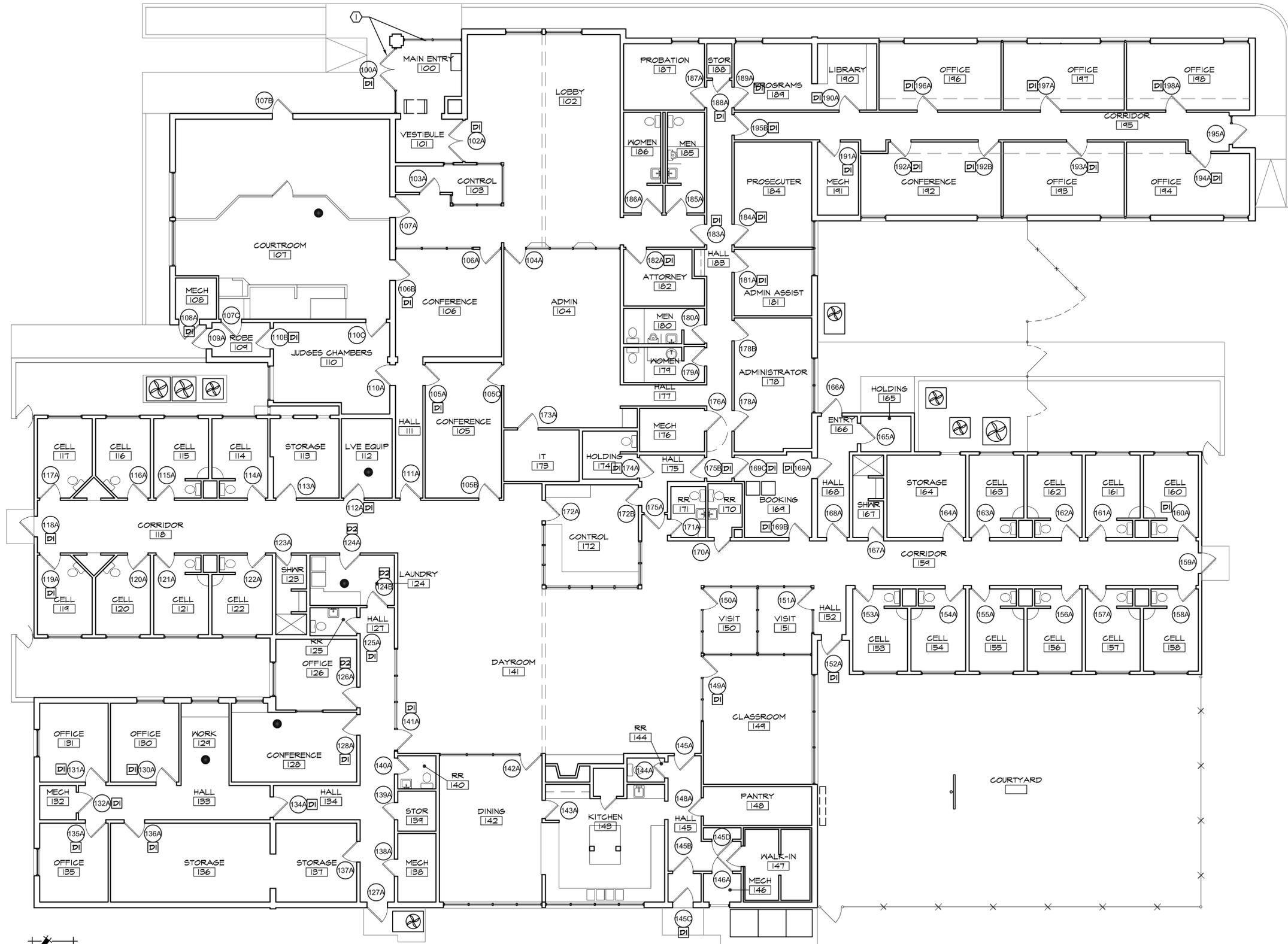
No.	DATE	BY

FLOOR PLAN - FLOOR AND FOUNDATION REPAIR PLAN  
 PROJECT TITLE  
**GRANT COUNTY JUVENILE DETENTION CENTER BUILDING REPAIRS**  
 EPHRATA, WASHINGTON

SHEET TITLE  
 SEAL  
 6829 REGISTERED ARCHITECT  
*William Arthur Froemel*  
 WILLIAM ARTHUR FROEMEL  
 STATE OF WASHINGTON

PROJECT NO. 1528  
 DRAWN TWS  
 CHECKED MAF  
 DATE 02/08/16  
 DRAWING NO.

**A102**



1 FLOOR PLAN - DOOR REPAIR AND REPLACEMENT PLAN  
SCALE: 1/8" = 1'-0"

**GENERAL NOTES**

1. REFERENCE DOOR SCHEDULE FOR DOOR TYPES AND FRAMES.
2. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO EXECUTION OF WORK.
3. SALVAGED ITEMS TO BE REINSTALLED SHALL BE REFINISHED AS NECESSARY TO MATCH PRE-EXISTING CONSTRUCTION.
4. NEW TRIM/BASE SHALL MATCH EXISTING.
5. PAINT ENTIRE WALLS WHEN SPOT MATCHING EXISTING WILL NOT PROVIDE CONSISTENT COLOR AND SHEEN.
6. WHERE ADJUSTMENTS FOR GAPS IN TRIM AND FRAMES IS UNATTAINABLE AND PROVIDE PAINTABLE SEALANT AND PAINT TO MATCH ADJACENT SURFACES.

**REPAIR TYPE LEGEND**

**D1** DOOR & FRAME ALIGNMENT/ADJUSTMENT - REMOVE EXISTING DOOR AND HARDWARE. REMOVE AND SALVAGE EXISTING CASINGS WHERE NECESSARY. PROTECT EXISTING BASE FROM DAMAGE

REALIGN/SHIM EXISTING HEAD & JAMBS TO BE LEVEL AND PLUMB. REINSTALL EXISTING DOOR & HINGES (AND TRIM). ADJUST HARDWARE FOR SMOOTH OPERATION. PROVIDE TOUCH-UP AT WALLS TO MATCH EXISTING FINISHES AS NECESSARY

**D2** DOOR & FRAME REPLACEMENT - DEMO EXISTING DOOR, FRAME. SALVAGE HARDWARE FOR REUSE. REMOVE AND SALVAGE EXISTING CASINGS WHERE NECESSARY. PROTECT EXISTING BASE FROM DAMAGE.

REPAIR AND REALIGN EXISTING HEAD AND JAMBS TO BE LEVEL AND PLUMB. INSTALL NEW DOOR AND FRAME. REINSTALL EXISTING HARDWARE AND ADJUST FOR SMOOTH OPERATION. REINSTALL EXISTING CASING. PROVIDE TOUCH-UP AT WALLS TO MATCH EXISTING FINISHES AS NECESSARY

**KEYED NOTES**

**1** EXISTING ALUMINUM STOREFRONT SYSTEMS TO BE ASSESSED. REMOVE EXISTING ALUMINUM STOREFRONTS FOR FOUNDATION REPAIRS. REINSTALL OR REPLACE ALUMINUM STOREFRONT AS DETERMINED IN THE FIELD (SEE DOOR SCHEDULE)



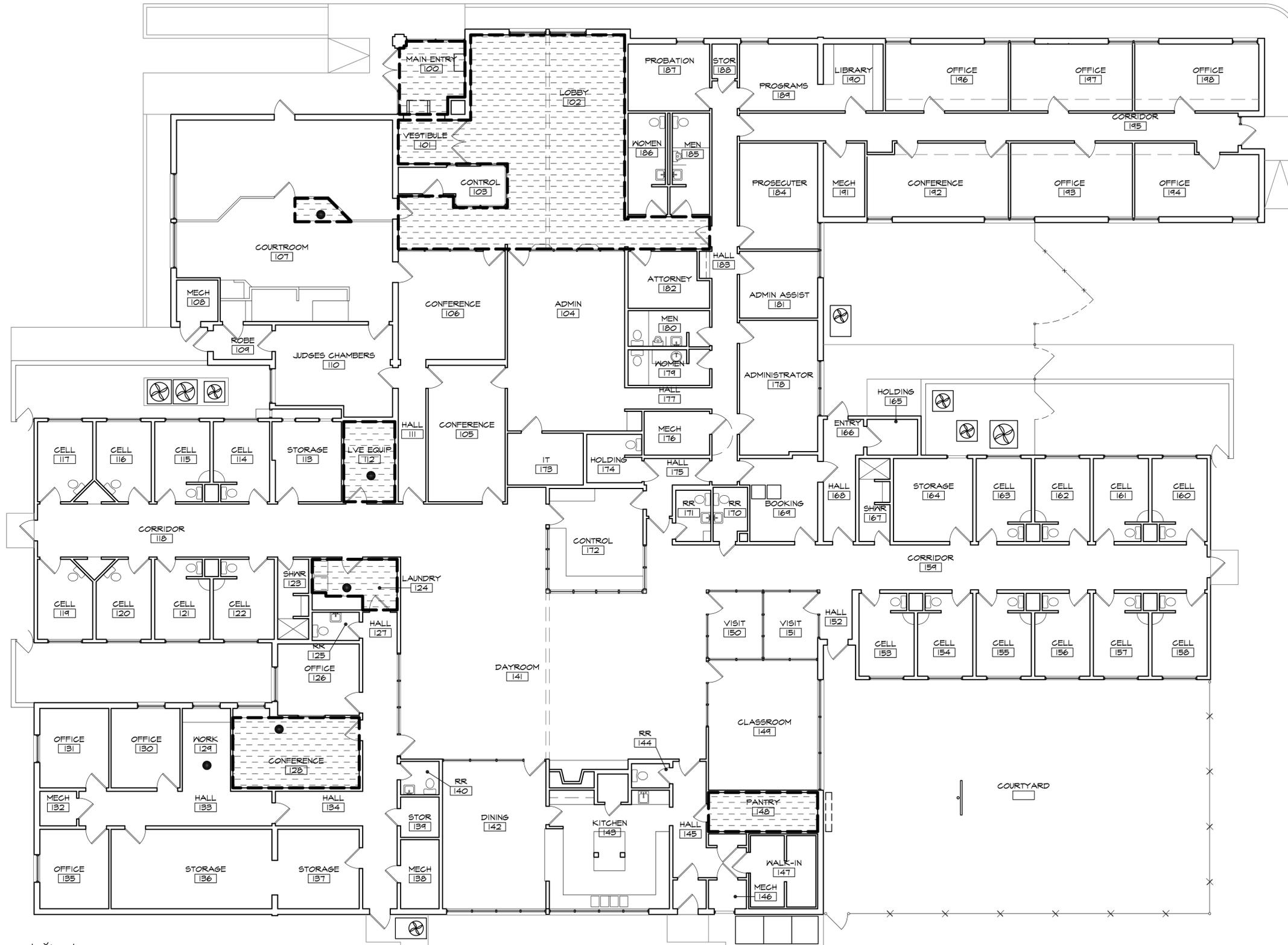
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No.	DATE	BY

SHEET TITLE: FLOOR PLAN - DOOR REPAIR AND REPLACEMENT PLAN  
PROJECT TITLE: GRANT COUNTY JUVENILE DETENTION CENTER BUILDING REPAIRS  
EPRHATA, WASHINGTON



PROJECT NO.	1528
DRAWN	TMS
CHECKED	MAF
DATE	02/08/16
DRAWING NO.	

**A103**



**GENERAL NOTES**

1. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO EXECUTION OF WORK.
2. SALVAGE TRIM AND BASE WHEREVER POSSIBLE AND REINSTALL TO PRE-EXISTING CONDITION. REFINISH AS NECESSARY TO MATCH PRE-EXISTING CONSTRUCTION.
3. NEW TRIM/BASE SHALL MATCH EXISTING
4. PAINT ENTIRE WALLS WHEN SPOT MATCHING EXISTING WILL NOT PROVIDE CONSISTENT COLOR AND SHEEN.
5. WHERE ADJUSTMENTS FOR GAPS IN TRIM AND FRAMES IS UNATTAINABLE PROVIDE PAINTABLE SEALANT AND PAINT TO MATCH ADJACENT SURFACES.
6. FLOORING REPAIR AND REPLACEMENT SHALL MATCH EXISTING TO THE BEST POSSIBLE PRACTICAL MATERIALS AVAILABLE. LOCATIONS TO BE DETERMINED IN THE FIELD.
7. PROVIDE FLOORING SAMPLES FOR APPROVAL BY OWNER PRIOR TO ORDERING.
8. HAZARDOUS MATERIALS ARE NOT ANTICIPATED TO BE ENCOUNTERED DURING DEMOLITION OF EXISTING BUILDINGS. A 'GOOD FAITH' SURVEY HAS BEEN INCLUDED IN THE STATEMENT OF WORK. IF SUSPECT HAZARDOUS MATERIALS ARE ENCOUNTERED, CONTRACTOR SHALL STOP WORK IN THE AFFECTED AREA AND NOTIFY THE ARCHITECT. THE OWNER WILL BE RESPONSIBLE FOR SAMPLING, TESTING, AND REMOVAL OR ENCAPSULATION OF ANY HAZARDOUS MATERIAL. REMEDIATION WILL BE CONFINED TO WORK AREAS ONLY. OWNERS REMEDIATION DELAYS THAT STOP GENERAL CONSTRUCTION SHALL REQUIRE CONTRACT MODIFICATIONS AND EXTEND CONTRACT SUBSTANTIAL COMPLETION DATES ACCORDINGLY.
9. DUE TO THE NATURE OF REPAIR / PATCHING AND THE SCOPE OF WORK, NOT ALL AREAS OF REPAIR ARE SHOWN. PRE-DETERMINED AREAS THAT ARE CONFINED BY WALLS ARE INDICATED, BUT THE EXTENT OF REPAIR AND/OR REPLACEMENT SHALL BE DETERMINED IN THE FIELD AND APPROVED BY THE OWNER PRIOR TO DEMOLITION.
10. SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION



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No.	DATE	BY

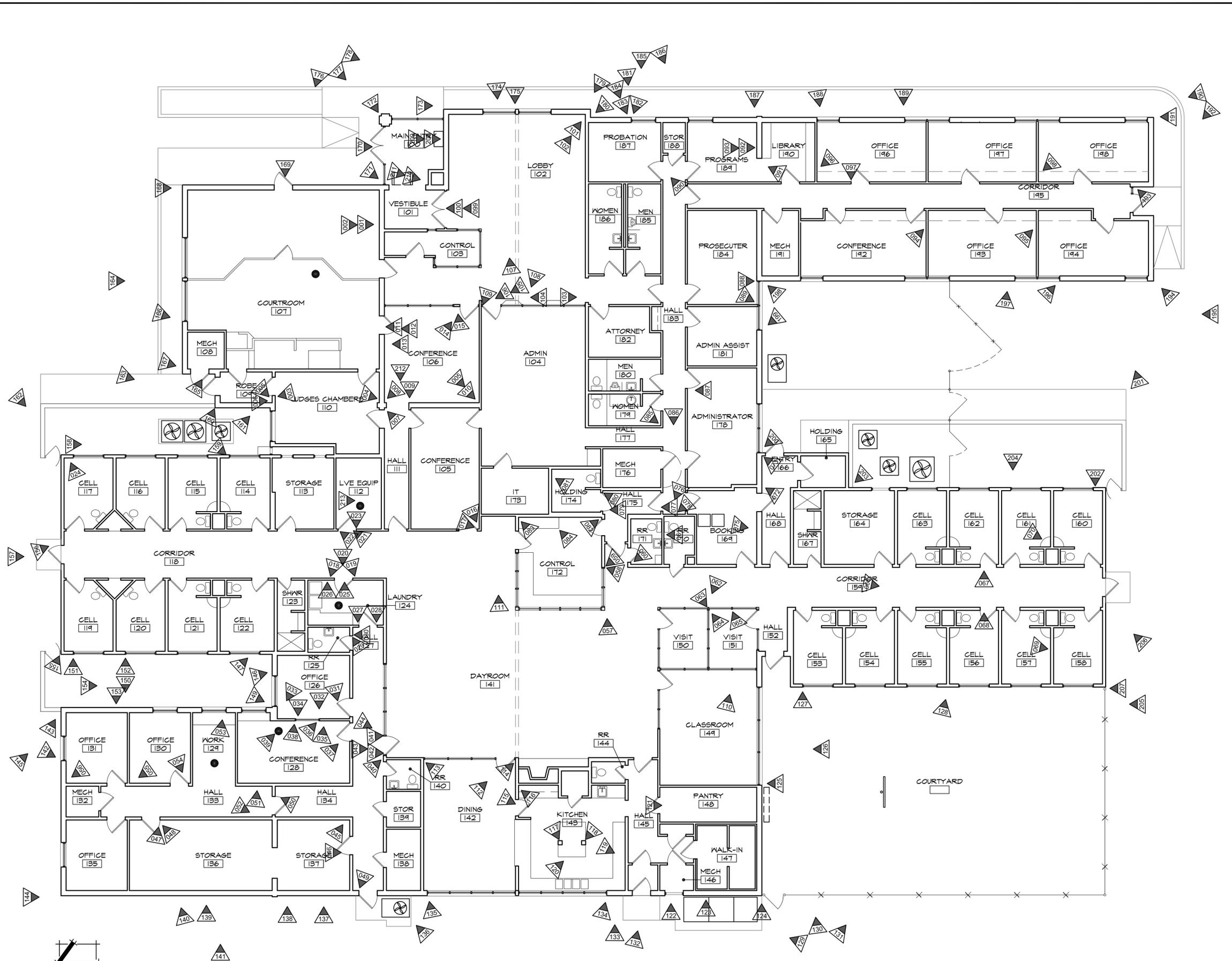
FLOOR FINISH PLAN  
**GRANT COUNTY JUVENILE DETENTION CENTER BUILDING REPAIRS**  
 EPHRATA, WASHINGTON



PROJECT NO. 1528  
 DRAWN TMS  
 CHECKED MAF  
 DATE 02/08/16  
 DRAWING NO.

A104

**FLOOR FINISH PLAN**  
 SCALE: 1/8" = 1'-0"  
 NORTH




**FLOOR PLAN - PHOTO LOG COORDINATION PLAN**  
 SCALE: 1/8" = 1'-0"

**GENERAL NOTES**

1. SEE ATTACHMENT A FOR COORDINATED PHOTO LOG.



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No.	DATE	BY

SHEET TITLE: FLOOR PLAN - PHOTO LOG COORDINATION PLAN  
 PROJECT TITLE: GRANT COUNTY JUVENILE DETENTION CENTER BUILDING REPAIRS  
 EPHRATA, WASHINGTON

6829 REGISTERED ARCHITECT  
  
 WILLIAM ARTHUR FROEMKE  
 STATE OF WASHINGTON

PROJECT NO.	1528
DRAWN	TMS
CHECKED	MAF
DATE	02/08/16
DRAWING NO.	

**A105**

**GENERAL NOTES**

1. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO EXECUTION OF WORK.
2. SALVAGE TRIM AND BASE WHEREVER POSSIBLE AND REINSTALL TO PRE-EXISTING CONDITION. REFINISH AS NECESSARY TO MATCH PRE-EXISTING CONSTRUCTION.
3. NEW TRIM/BASE SHALL MATCH EXISTING.
4. PAINT ENTIRE WALLS WHEN SPOT MATCHING EXISTING WILL NOT PROVIDE CONSISTENT COLOR AND SHEEN.
5. WHERE ADJUSTMENTS FOR GAPS IN TRIM AND FRAMES IS UNATTAINABLE PROVIDE PAINTABLE SEALANT AND PAINT TO MATCH ADJACENT SURFACES.
6. VERIFY ALL CONDITIONS IN THE FIELD.
7. SEE FLOOR PLANS FOR ADDITIONAL INFORMATION.
8. SEE STRUCTURAL PLANS FOR DETAILED HELICAL AND BRACKET PLATE INSTALLATIONS.

**REPAIR TYPE SCHEDULE**

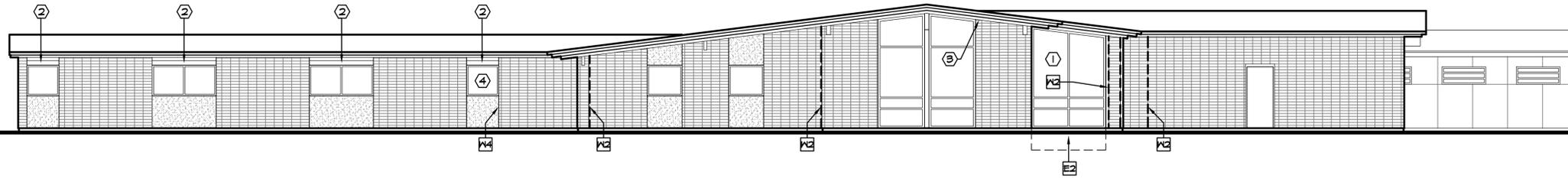
- M4** MORTAR REPAIR - GRIND AND REMOVE CRACKING MORTAR TO THE NEXT INTERSECTING JOINT BEYOND CRACK EXTENTS. REMOVE MINIMUM DEPTH OF JOINT WIDTH BY FULL WIDTH. NET EXPOSED BRICK AND MORTAR BEFORE PATCHING. TUCK AND POINT WITH NEW TYPE 'N' MORTAR JOINTS TO MATCH EXISTING PROFILES. MATCH EXISTING MORTAR IN COLOR AND COMPOSITION. CHEMICALLY CLEAN NEW MORTAR PER MFG RECOMMENDATIONS
- M8** EXTERIOR & INTERIOR FORM FACED CONC WALLS - ROUTER/GRIND CRACKING TO REMOVE LOOSE AND SPALLING DEBRIS (CRACKS LESS THAN 14 MILS CAN BE BRIDGED WITH 100% ACRYLIC PAINT). REPAIR CRACK USING EPOXY TYPE PASTE PER MFG. PRIME AND PAINT REPAIRED AREAS TO MATCH EXISTING FINISHES
- M4** WALL SEPARATION - CLEAN AND REMOVE FAILING SEALANT/CAULKING. RECAULK JOINT TO BE SMOOTH WITH NO GAPS. PRIME, PAINT AND TEXTURE ANY REPAIRED GYP BD SURFACES TO MATCH EXISTING FINISHES. SEALANT/CAULKING AT MASONRY OR STUCCO SURFACES SHALL BE CLEAN AND CONSISTENT IN APPEARANCE. INSTALLED IN A WORKMANSHIP MANNER. VOID AREAS THAT CANNOT BE BRIDGED WITH SEALANT SHALL BE INFILLED WITH EXPANDING FOAM THEN REPAIRED AS DESCRIBED. EXTERIOR REPAIRS SHALL UTILIZE WEATHER RESISTANT SEALANT AND CREATE A WATERTIGHT SEAL
- E2** EXTERIOR EXCAVATION 2 - SAWCUT AND REMOVE EXISTING EXTERIOR CONC WALKS AND INTERIOR CONC SLAB. EXCAVATE AND EXPOSE FOUNDATIONS AS REQUIRED TO INSTALL STRUCTURAL REPAIRS. REPLACE AND COMPACT SOILS PER STRUCT AND REINSTALL ALL CONC FLATWORK TO PRE-EXISTING CONDITIONS (SEE STRUCTURAL DRAWINGS)

**KEYED NOTES**

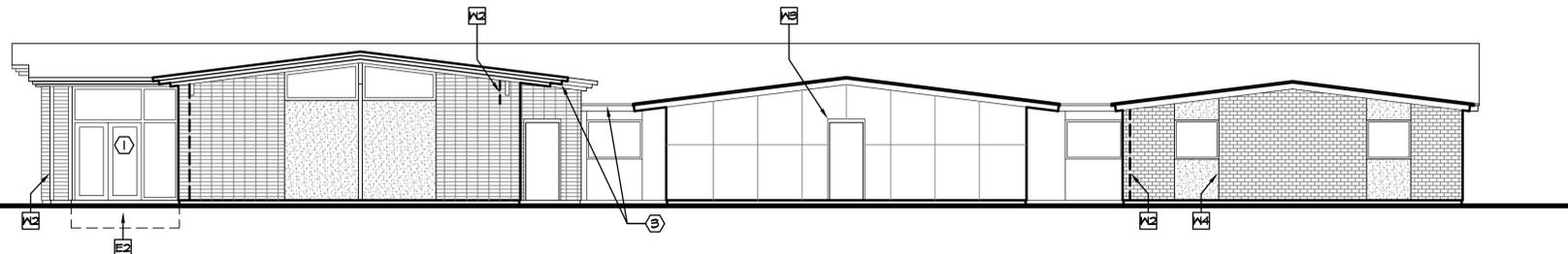
- ① EXISTING ALUMINUM STOREFRONT SYSTEMS TO BE ASSESSED. REMOVE EXISTING ALUMINUM STOREFRONT FOR FOUNDATION REPAIRS. REINSTALL OR REPLACE ALUMINUM STOREFRONT AS DETERMINED IN THE FIELD (SEE DOOR SCHEDULE)
- ② REMOVE FAILING CAULKING AT WINDOW AND SOFFITS AND RECAULK
- ③ REPAIR SEPARATING SOFFIT TRIM
- ④ REPAIR ALUMINUM STOREFRONT WINDOW



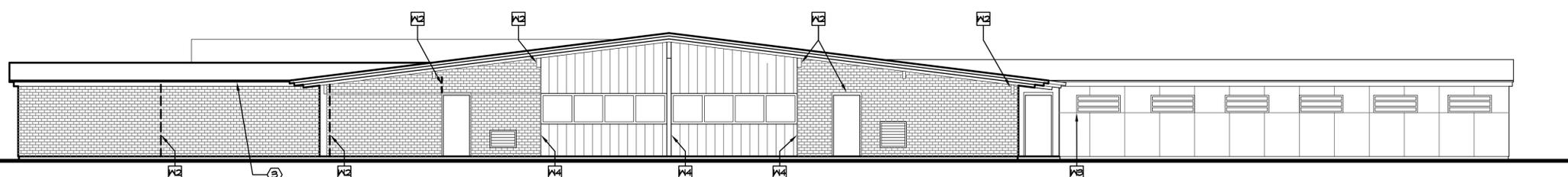
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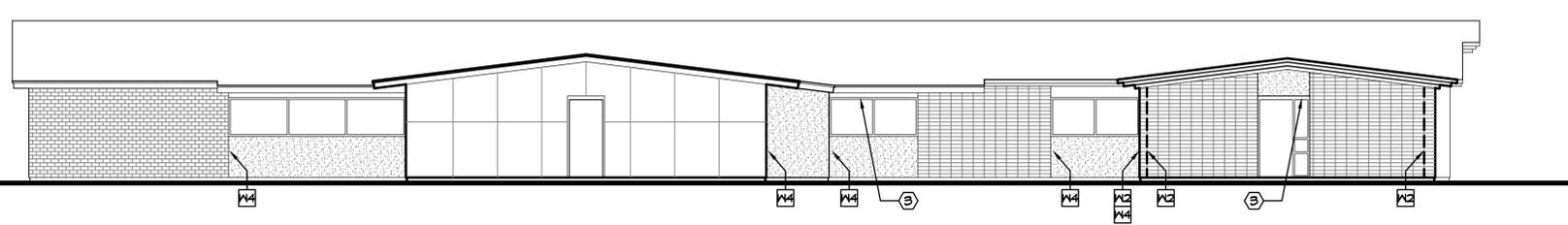
**1 EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**2 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**3 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



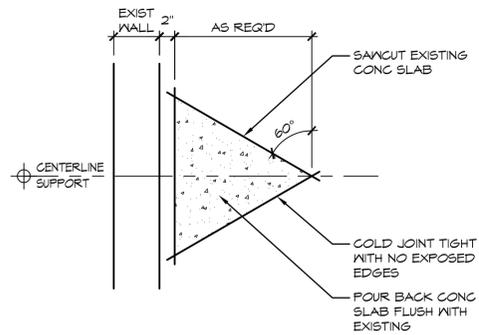
**4 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"

SHEET TITLE: AS-BUILT EXTERIOR ELEVATIONS  
PROJECT TITLE: GRANT COUNTY JUVENILE DETENTION CENTER BUILDING REPAIRS  
EPRHATA, WASHINGTON

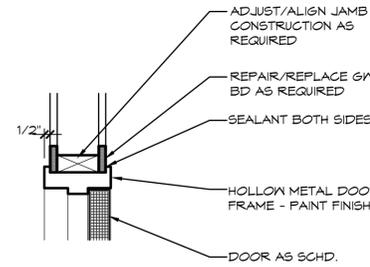


PROJECT NO. 1528  
DRAWN: TMS  
CHECKED: MAF  
DATE: 02/08/16  
DRAWING NO.

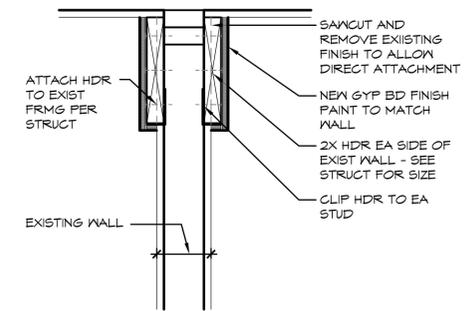
**A201**



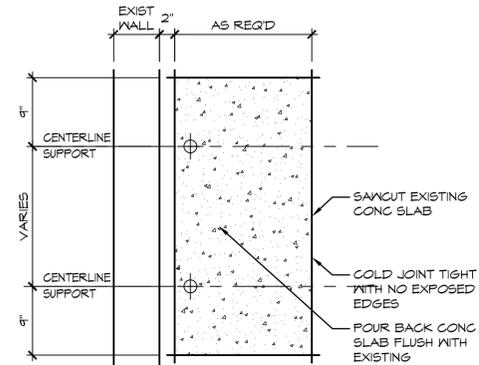
9 F3 INTERIOR FOUND. ACCESS  
SCALE: 1"=1'-0" 1528-FD003



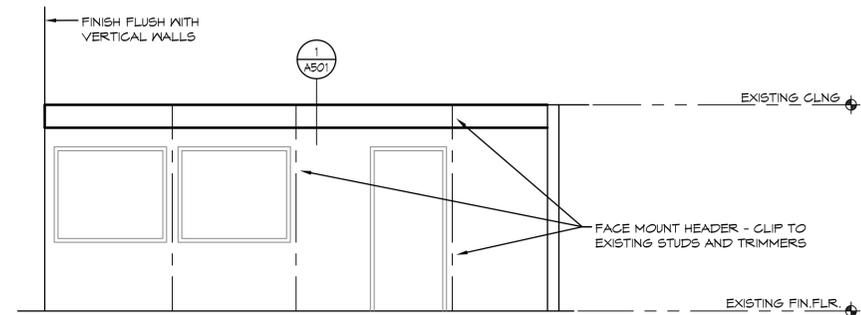
5 HOLLOW METAL JAMB (HEAD SIM)  
SCALE: 1-1/2"=1'-0" 1528-DR001



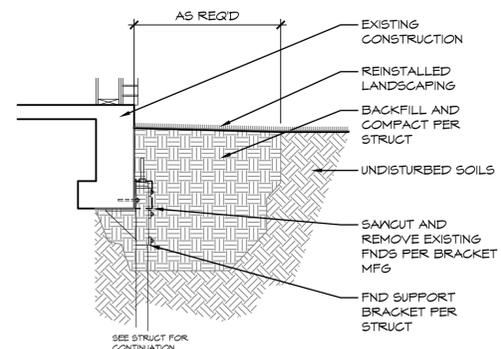
1 H1 HEADER SUPPORT DETAIL  
SCALE: 1-1/2"=1'-0" 1528-FR001



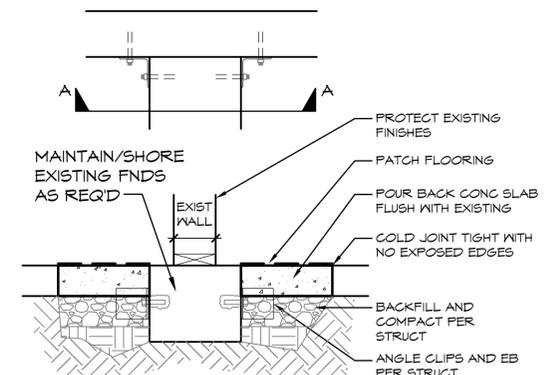
10 F3 OPTIONAL INTERIOR FOUND. ACCESS @ MULTIPLES  
SCALE: 1"=1'-0" 1528-FD006



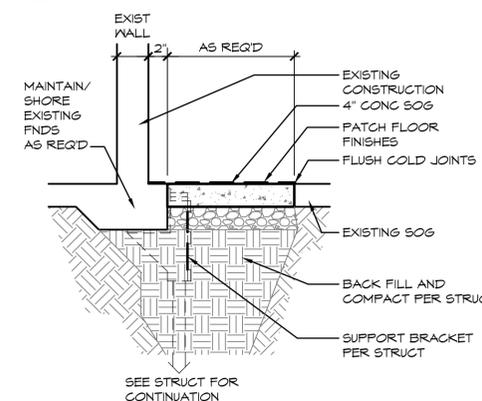
6 H1 FACE MOUNT HEADER ELEVATION  
SCALE: 1/4"=1'-0" 1528-FR002



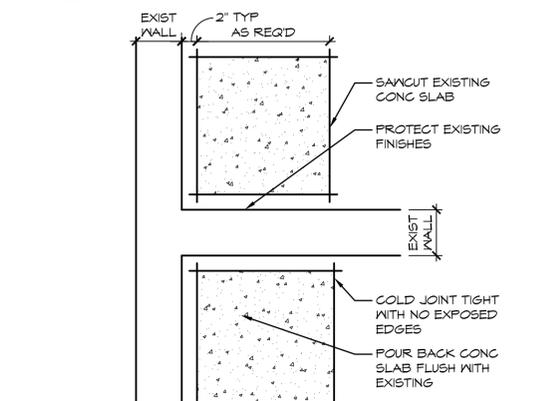
7 E1 EXTERIOR UNDERPIN DETAIL  
SCALE: 1/2"=1'-0" 1528-FD002



3 F4 INTERIOR FOUND. DETAIL  
SCALE: 1"=1'-0" 1528-FD004



8 F3 INTERIOR UNDERPIN DETAIL  
SCALE: 3/4"=1'-0" 1528-FD001



4 F4 INTERIOR FOUND. ACCESS  
SCALE: 1"=1'-0" 1528-FD004

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ARCHITECTURAL DETAILS  
PROJECT TITLE  
GRANT COUNTY JUVENILE DETENTION CENTER BUILDING REPAIRS  
EPHRATA, WASHINGTON

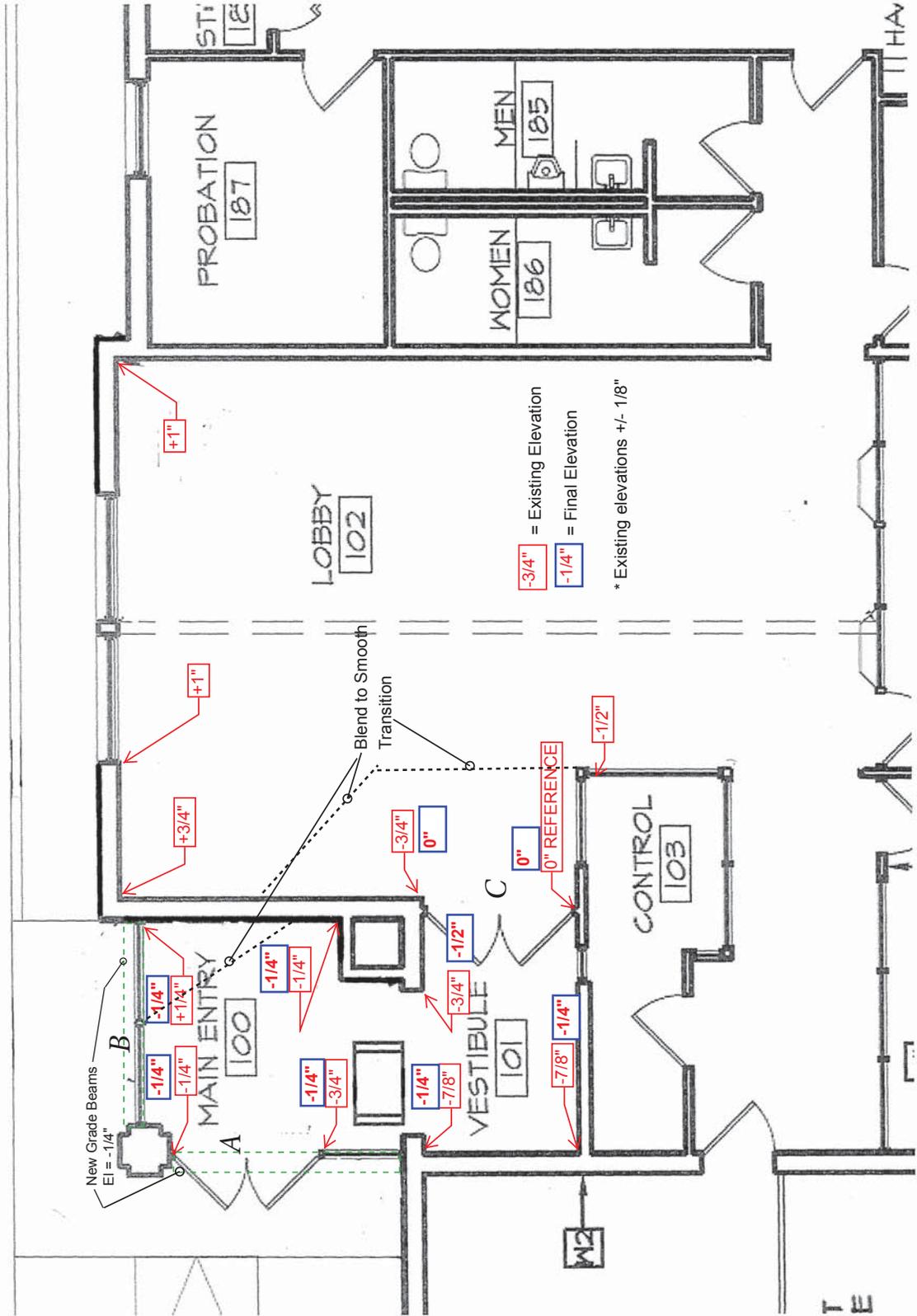
SHEET TITLE  
SEAL  
6829 REGISTERED ARCHITECT  
William Arthur Froemke  
WILLIAM ARTHUR FROEMKE  
STATE OF WASHINGTON

PROJECT NO. 1528  
DRAWN TMS  
CHECKED MAF  
DATE 02/08/16  
DRAWING NO.

A501

DOOR & FRAME SCHEDULE

NO.	SIZE: W x H x T	DOOR			FRAME			FIRE RATING	ALIGN # ADJUST (SEE D1)	REPLACE (SEE D2)	HDWR	NOTES
		TYPE	MATL	FINISH	MATL	FINISH	GLAZING					
100A	6'-0" x 7'-0" x 1-3/4"	STRFRNT	ALUM	FF	TEMP	ALUM	FF	TEMP				SEE NOTE 5
102A	6'-0" x 7'-0" x 1-3/4"	STRFRNT	ALUM	FF	TEMP	ALUM	FF	TEMP				
103A	3'-0" x 7'-0" x 1-3/4"	1/2 LITE FLUSH	ND	SV	TEMP	MTL	FNT	-				
104A	3'-0" x 7'-0" x 1-3/4"	1/2 LITE FLUSH	ND	SV	TEMP	MTL	FNT	-				
105A	3'-0" x 6'-8" x 1-3/4"	FLUSH	ND	SV	-	ND	SV	-				
105B	3'-0" x 6'-8" x 1-3/4"	FLUSH	ND	SV	-	ND	SV	-				
105C	3'-0" x 6'-8" x 1-3/4"	FLUSH	ND	SV	-	ND	SV	-				
106A	3'-0" x 7'-0" x 1-3/4"	1/2 LITE FLUSH	ND	SV	TEMP	MTL	FNT	-				
106B	3'-0" x 6'-10" x 1-3/4"	FLUSH	ND	SV	TEMP	MTL	FNT	-				
107A	3'-0" x 6'-10" x 1-3/4"	NARROW LITE FLUSH	ND	SV	TEMP	MTL	FNT	-				
107B	3'-0" x 7'-0" x 1-3/4"	FLUSH	MTL	FNT	-	MTL	FNT	-				
107C	3'-0" x 7'-0" x 1-3/4"	VISION PNL FLUSH	ND	SV	TEMP	MTL	FNT	-				
108A	3'-0" x 7'-0" x 1-3/4"	FLUSH	MTL	FNT	-	MTL	FNT	-				EXTERIOR INSUL
109A	3'-0" x 7'-0" x 1-3/4"	VISION PNL FLUSH	MTL	FNT	TEMP	MTL	FNT	-				EXTERIOR INSUL
110A	3'-0" x 7'-0" x 1-3/4"	FLUSH	ND	SV	-	MTL	FNT	-				
110B	3'-0" x 7'-0" x 1-3/4"	FLUSH	ND	SV	-	MTL	FNT	-				
110C	3'-0" x 7'-0" x 1-3/4"	FLUSH	ND	SV	-	MTL	FNT	-				
111A	3'-0" x 6'-8" x 1-3/4"	FLUSH	ND	SV	-	ND	SV	-				
112A	3'-0" x 6'-8" x 1-3/4"	FLUSH	ND	SV	-	MTL	FNT	-				
113A	3'-0" x 6'-8" x 1-3/4"	VISION PNL FLUSH	MTL	FNT	TEMP	MTL	FNT	-				LOUVERS
114A	2'-8" x 6'-8" x 1-3/4"	VISION PNL FLUSH	MTL	FNT	POLY	MTL	FNT	-				SECURITY DOOR
115A	2'-8" x 6'-8" x 1-3/4"	VISION PNL FLUSH	MTL	FNT	POLY	MTL	FNT	-				SECURITY DOOR
116A	3'-0" x 7'-0" x 1-3/4"	VISION PNL FLUSH	MTL	FNT	POLY	MTL	FNT	-				SECURITY DOOR
117A	3'-0" x 7'-0" x 1-3/4"	VISION PNL FLUSH	MTL	FNT	POLY	MTL	FNT	-				SECURITY DOOR
118A	3'-0" x 7'-0" x 1-3/4"	VISION PNL FLUSH	MTL	FNT	TEMP	MTL	FNT	-				EXTERIOR INSUL
119A	3'-0" x 7'-0" x 1-3/4"	VISION PNL FLUSH	MTL	FNT	POLY	MTL	FNT	-				SECURITY DOOR
120A	3'-0" x 7'-0" x 1-3/4"	VISION PNL FLUSH	MTL	FNT	POLY	MTL	FNT	-				SECURITY DOOR
121A	2'-8" x 6'-8" x 1-3/4"	VISION PNL FLUSH	MTL	FNT	POLY	MTL	FNT	-				SECURITY DOOR
122A	2'-8" x 6'-8" x 1-3/4"	VISION PNL FLUSH	MTL	FNT	POLY	MTL	FNT	-				SECURITY DOOR
123A	3'-0" x 6'-8" x 1-3/4"	FLUSH	MTL	FNT	-	MTL	FNT	-				
124A	3'-0" x 6'-8" x 1-3/4"	VISION PNL FLUSH	MTL	FNT	-	MTL	FNT	-				REPLACE WITH LIKE DOOR, PROVIDE NEW HDWR
124B	2'-8" x 6'-8" x 1-3/4"	VISION PNL FLUSH	MTL	FNT	-	MTL	FNT	-				REPLACE WITH LIKE DOOR, PROVIDE NEW HDWR
125A	2'-8" x 6'-8" x 1-3/4"	VISION PNL FLUSH	MTL	FNT	-	MTL	FNT	-				LOUVERS
126A	2'-8" x 6'-8" x 1-3/4"	VISION PNL FLUSH	MTL	FNT	-	MTL	FNT	-				LOUVERS
127A	3'-0" x 6'-8" x 1-3/4"	VISION PNL FLUSH	MTL	FNT	-	MTL	FNT	-				EXTERIOR INSUL
128A	2'-8" x 6'-8" x 1-3/4"	VISION PNL FLUSH	ND	SV	-	MTL	FNT	-				LOUVERS
130A	3'-0" x 6'-8" x 1-3/4"	FLUSH	ND	SV	-	ND	SV	-				LOUVERS
131A	3'-0" x 6'-8" x 1-3/4"	FLUSH	ND	SV	-	ND	SV	-				LOUVERS
132A	3'-0" x 6'-8" x 1-3/4"	FLUSH	ND	SV	-	ND	SV	-				LOUVERS
134A	3'-0" x 6'-8" x 1-3/4"	FLUSH	ND	SV	-	ND	SV	-	20 MIN			PROVIDE NEW SMOKE SEALS
135A	3'-0" x 6'-8" x 1-3/4"	FLUSH	ND	SV	-	ND	SV	-				LOUVERS
136A	3'-0" x 6'-8" x 1-3/4"	FLUSH	ND	SV	-	ND	SV	-				LOUVERS
137A	2'-8" x 6'-8" x 1-3/4"	VISION PNL FLUSH	MTL	FNT	-	MTL	FNT	-				LOUVERS
138A	2'-8" x 6'-8" x 1-3/4"	FLUSH	MTL	FNT	-	MTL	FNT	-				LOUVERS
139A	2'-8" x 6'-8" x 1-3/4"	FLUSH	MTL	FNT	-	MTL	FNT	-				LOUVERS
140A	3'-0" x 6'-8" x 1-3/4"	VISION PNL FLUSH	ND	SV	TEMP	ND	SV	-				LOUVERS
142A	3'-0" x 6'-8" x 1-3/4"	VISION PNL FLUSH	ND	SV	TEMP	ND	SV	-				LOUVERS
143A	2'-8" x 6'-8" x 1-3/4"	VISION PNL FLUSH	ND	SV	TEMP	ND	SV	-				LOUVERS
144A	2'-0" x 6'-8" x 1-3/4"	FLUSH	ND	SV	-	ND	SV	-				LOUVERS
145A	3'-0" x 6'-8" x 1-3/4"	VISION PNL FLUSH	ND	SV	TEMP	ND	SV	-				LOUVERS
145B	3'-0" x 6'-8" x 1-3/4"	VISION PNL FLUSH	MTL	FNT	TEMP	MTL	FNT	-				LOUVERS
145C	3'-0" x 6'-8" x 1-3/4"	VISION PNL FLUSH	MTL	FNT	TEMP	MTL	FNT	-				EXTERIOR INSUL
145D	2'-8" x 6'-8" x 1-3/4"	FLUSH	MTL	FNT	-	MTL	FNT	-				EXTERIOR INSUL
146A	2'-8" x 6'-8" x 1-3/4"	FLUSH	MTL	FNT	-	MTL	FNT	-				EXTERIOR INSUL
146B	2'-8" x 6'-8" x 1-3/4"	FLUSH	MTL	FNT	-	MTL	FNT	-				EXTERIOR INSUL
148A	2'-8" x 6'-8" x 1-3/4"	VISION PNL FLUSH	ND	SV	TEMP	ND	SV	-				LOUVERS
149A	3'-0" x 6'-8" x 1-3/4"	1/2 LITE FLUSH	ND	SV	TEMP	ND	SV	-				LOUVERS
150A	3'-0" x 6'-8" x 1-3/4"	1/2 LITE FLUSH	ND	SV	TEMP	ND	SV	-				LOUVERS
151A	3'-0" x 6'-8" x 1-3/4"	1/2 LITE FLUSH	ND	SV	TEMP	ND	SV	-				LOUVERS
152A	3'-0" x 6'-8" x 1-3/4"	VISION PNL FLUSH	MTL	FNT	TEMP	MTL	FNT	-				EXTERIOR INSUL
153A	2'-8" x 6'-8" x 1-3/4"	VISION PNL FLUSH	MTL	FNT	POLY	MTL	FNT	-				SECURITY DOOR, LOUVERS
154A	2'-8" x 6'-8" x 1-3/4"	VISION PNL FLUSH	MTL	FNT	POLY	MTL	FNT	-				SECURITY DOOR, LOUVERS
155A	2'-8" x 6'-8" x 1-3/4"	VISION PNL FLUSH	MTL	FNT	POLY	MTL	FNT	-				SECURITY DOOR, LOUVERS
156A	2'-8" x 6'-8" x 1-3/4"	VISION PNL FLUSH	MTL	FNT	POLY	MTL	FNT	-				SECURITY DOOR, LOUVERS
157A	2'-8" x 6'-8" x 1-3/4"	VISION PNL FLUSH	MTL	FNT	POLY	MTL	FNT	-				SECURITY DOOR, LOUVERS
158A	2'-8" x 6'-8" x 1-3/4"	VISION PNL FLUSH	MTL	FNT	POLY	MTL	FNT	-				SECURITY DOOR, LOUVERS
159A	3'-0" x 6'-8" x 1-3/4"	VISION PNL FLUSH	MTL	FNT	TEMP	MTL	FNT	-				EXTERIOR INSUL
160A	2'-8" x 6'-8" x 1-3/4"	VISION PNL FLUSH	MTL	FNT	POLY	MTL	FNT	-				SECURITY DOOR, LOUVERS
161A	2'-8" x 6'-8" x 1-3/4"	VISION PNL FLUSH	MTL	FNT	POLY	MTL	FNT	-				SECURITY DOOR, LOUVERS
162A	2'-8" x 6'-8" x 1-3/4"	VISION PNL FLUSH	MTL	FNT	POLY	MTL	FNT	-				SECURITY DOOR, LOUVERS
163A	2'-8" x 6'-8" x 1-3/4"	VISION PNL FLUSH	MTL	FNT	POLY	MTL	FNT	-				SECURITY DOOR, LOUVERS
164A	3'-0" x 6'-8" x 1-3/4"	VISION PNL FLUSH	MTL	FNT	TEMP	MTL	FNT	-				LOUVERS
165A	3'-0" x 7'-0" x 1-3/4"	VISION PNL FLUSH	MTL	FNT	POLY	MTL	FNT	-				SECURITY DOOR
166A	3'-0" x 7'-0" x 1-3/4"	VISION PNL FLUSH	MTL	FNT	POLY	MTL	FNT	-				EXTERIOR INSUL
167A	3'-0" x 6'-8" x 1-3/4"	FLUSH	MTL	FNT	-	MTL	FNT	-				EXTERIOR INSUL
168A	3'-0" x 6'-8" x 1-3/4"	VISION PNL FLUSH	MTL	FNT	TEMP	MTL	FNT	-				SECURITY DOOR
169A	3'-0" x 6'-8" x 1-3/4"	VISION PNL FLUSH	MTL	FNT	TEMP	MTL	FNT	-				SECURITY DOOR
169B	2'-8" x 6'-8" x 1-3/4"	FLUSH	ND	SV	-	ND	SV	-				LOUVERS
169C	3'-0" x 7'-0" x 1-3/4"	VISION PNL FLUSH	ND	SV	TEMP	MTL	FNT	-				LOUVERS
170A	2'-4" x 6'-8" x 1-3/4"	FLUSH	MTL	FNT	-	MTL	FNT	-				LOUVERS
171A	2'-4" x 6'-8" x 1-3/4"	FLUSH	MTL	FNT	-	MTL	FNT	-				LOUVERS
172A	3'-0" x 6'-8" x 1-3/4"	1/2 LITE FLUSH	ND	SV	TEMP	ND	SV	-				LOUVERS
172B	2'-8" x 6'-8" x 1-3/4"	FLUSH	ND	SV	-	ND	SV	-				LOUVERS
173A	3'-0" x 7'-0" x 1-3/4"	FLUSH	ND	SV	-	ND	SV	-				LOUVERS
174A	3'-0" x 7'-0" x 1-3/4"	VISION PNL FLUSH	MTL	FNT	POLY	MTL	FNT	-				SECURITY DOOR
175A	3'-0" x 6'-8" x 1-3/4"	FLUSH	ND	SV	-	ND	SV	-				LOUVERS
176A	3'-0" x 7'-0" x 1-3/4"	VISION PNL FLUSH	ND	SV	TEMP	ND	SV	-				LOUVERS
177A	3'-0" x 7'-0" x 1-3/4"	FLUSH	ND	SV	-	ND	SV	-				LOUVERS
178A	3'-0" x 7'-0" x 1-3/4"	FLUSH	ND	SV	-	ND	SV	-				LOUVERS
179A	3'-0" x 7'-0" x 1-3/4"	FLUSH	ND	SV	-	ND	SV	-				LOUVERS
180A	2'-8" x 7'-0" x 1-3/4"	FLUSH	ND	SV	-	ND	SV	-				LOUVERS
181A	3'-0" x 7'-0" x 1-3/4"	FLUSH	ND	SV	-	ND	SV	-				LOUVERS
182A	3'-0" x 7'-0" x 1-3/4"	FLUSH	ND	SV	-	ND	SV	-				LOUVERS
183A	3'-0" x 7'-0" x 1-3/4"	FLUSH	ND	SV	-	ND	SV	-				LOUVERS
184A	3'-0" x 7'-0" x 1-3/4"	FLUSH	ND	SV	-	ND	SV	-				LOUVERS
185A	3'-0" x 7'-0" x 1-3/4"	FLUSH	ND	SV	-	ND	SV	-				LOUVERS
186A	3'-0" x 7'-0" x 1-3/4"	FLUSH	ND	SV	-	ND	SV	-				LOUVERS
187A	3'-0" x 7'-0" x 1-3/4"	FLUSH	ND	SV	-	ND	SV	-				LOUVERS
188A	2'-8" x 7'-0" x 1-3/4"	FLUSH	ND	SV	-	ND	SV	-	20 MIN			PROVIDE NEW SMOKE SEALS
189A	3'-0" x 7'-0" x 1-3/4"	FLUSH	ND	SV	-	ND	SV	-	20 MIN			PROVIDE NEW SMOKE SEALS
190A	3'-0" x 7'-0" x 1-3/4"	FLUSH	ND	SV	-	ND	SV	-	20 MIN			PROVIDE NEW SMOKE SEALS
191A	3'-0" x 7'-0" x 1-3/4"	FLUSH	ND	SV	-	ND	SV	-	20 MIN			PROVIDE NEW SMOKE SEALS
192A	3'-0" x 7'-0" x 1-3/4"	FLUSH	ND	SV	-	ND	SV	-	20 MIN			PROVIDE NEW SMOKE SEALS
193A	3'-0" x 7'-0" x 1-3/4"	FLUSH	ND	SV	-	ND	SV	-	20 MIN			PROVIDE NEW SMOKE SEALS

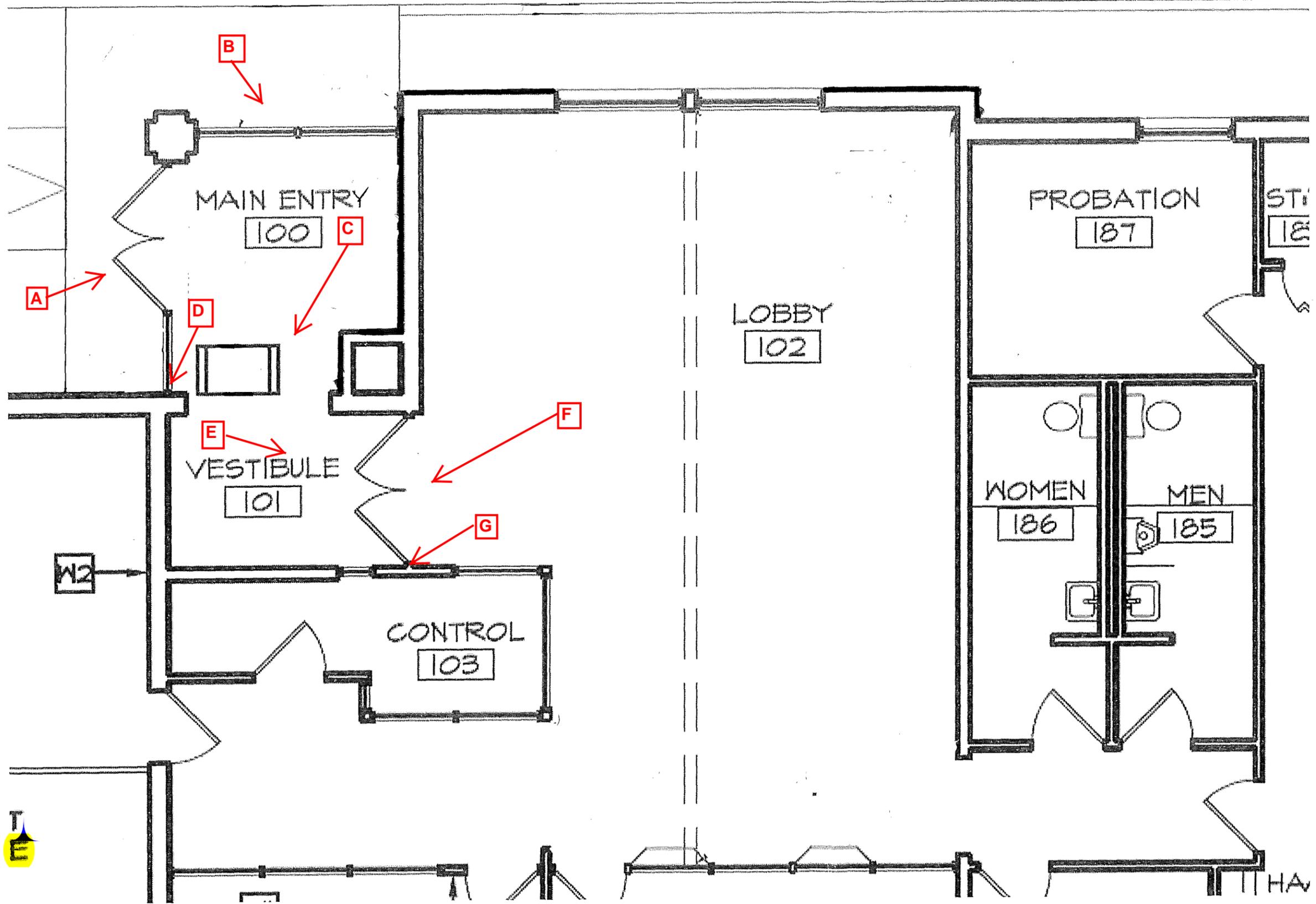


**STOREFRONT ASSEMBLIES:**

- A** - 9'-0" W x 9'-3" H (APPROX)  
REMOVE, ADJUST TO FIT NEW ELEVATIONS & REINSTQALL TO NEW ELEVATION. ADJUST DOORS FOR PROPER OPERATION
- B** - 8'-0" W x 9'-3" H +/- (APPROX)  
REMOVE, ADJUST TO FIT NEW ELEVATIONS & REINSTALL
- C** - 6'-4" W x 10'-7" H (APPROX)  
REMOVE, ADJUST TO FIT NEW ELEVATIONS & REINSTQALL TO NEW ELEVATION. ADJUST DOORS FOR PROPER OPERATION

-3/4" = Existing Elevation  
-1/4" = Final Elevation  
 \* Existing elevations +/- 1/8"

FLOOR ELEVATIONS @ ENTRY



E



**A**



**B**



C

CAUTION



**D**



PLEASE DO NOT  
USE THIS  
BOOK; IT IS  
BROKEN.

PLEASE DONATE TO US  
AGAINST THE PLAGUE  
& CHOLERA OUTBREAK  
BEFORE ENTERING THE  
CHURCH HOUSE

ATTENTION  
PLEASE USE OTHER BOOK  
→

STEP  
1718

E



F

**G**

