



**Grant County**  
**Central Services**  
P O Box 37  
Ephrata WA 98823  
(509) 754-2011 Ext-3276

**February, 24, 2016**

**GRANT COUNTY CENTRAL SERVICES  
REQUEST FOR BIDS  
ALUMINUM FRAME ENTRANCE AND STOREFRONT**

**The Grant County Central Services Department (CSD) is working in partnership with M.J. Takisaki, A general contractor selected to facilitate the repairs of Grant County's Youth Services Facility in Ephrata WA.**

Important dates / requirements	Date	Yes	RCW / Notes
RFB Published	Feb 24 <sup>th</sup> 2016		Through MRSC roster
Submission Deadline	March 15 <sup>th</sup> 2016		No Later Than 2:00 pm
Anticipated Start Date	March 28 <sup>th</sup> 2016		
Prevailing Wage		XX	Wages effective June 29 <sup>th</sup> 2016
Bonds/Insurance required		XX	
Responsible Bidder Criteria		XX	RCW 39.04.350

Direct questions to M.J. Takisaki Project Manager. All questions to be submitted electronically no later than 2:00 pm on 15 March 2016. Answers will be distributed to all interested bidders.

Tom Wollney  
M.J. Takisaki / Grant County Youth Services Project Manager  
[tomw@takisaki.com](mailto:tomw@takisaki.com)

Thank you in advance for your courtesies,

*Tom Gaines*

Tom Gaines  
Grant County,  
Director of Central Services,

Tom Gaines  
Director of Central Services  
[tgaines@grantcountywa.gov](mailto:tgaines@grantcountywa.gov)



# MJ TAKISAKI, INC.

GENERAL CONTRACTOR

SUBJECT: MJT Project # 2502, Grant County Juvenile Detention Center  
303 Able Rd., Ephrata, WA 98823

## INVITATION TO BID

M.J. Takasaki, Inc., Prime Contractor for the above mentioned project, invites qualified ALUMINUM FRAME ENTRANCE AND STOREFRONT subcontractors to provide bids for Grant County Juvenile Detention Center. The Project is located at 303 Able Road, Ephrata, Grant County, WA. The anticipated start date is on or around 28 March, 2016. Other pertinent information as follows:

1. The Work includes removal, modification and reinstallation of three storefront sections and is further clarified in the Statement of Work.
2. Bid documents are available to interested bidders through the Grant County Small Works Roster.
3. State of Washington Department of Labor & Industries Prevailing Wage Rates, effective 29 June 2015, apply.
4. Due to the mission of the Facility, background checks may be required of all employees working onsite.
5. Drug testing will be required of all persons working onsite.
6. Photo documentation of the existing facility is included with the drawings and is presumed to be sufficient for bidding purposes. Should a site visit be required, please coordinate with M.J. Takasaki Project Manager.
7. Direct questions to M.J. Takasaki Project Manager. All questions to be submitted electronically no later than 2:00 pm on 15 March 2016. Answers will be distributed to all interested bidders.

Please submit your proposals electronically to:

Proposals must be received by **2:00 pm PDT, 15 March 2016.**

M.J. Takasaki is an Equal Opportunity Employer

Bid Documents: Invitation to Bid  
Statement of Work  
Bid Schedule  
Project Sketches



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SUBJECT: MJT Project # 2502, Grant County Juvenile Detention Center  
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ALUMINUM FRAME ENTRANCE AND STOREFRONT MODIFICATIONS  
BID SCHEDULE:

BID ITEMS

REMOVE, MODIFY & REINSTALL (3) STOREFRONT SECTIONS \$\_\_\_\_\_ LS

COMPANY: \_\_\_\_\_

NAME/TITLE OF AUTHORIZED SIGNER: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_



# **MJ TAKISAKI, INC.**

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## STOREFRONT STATEMENT OF WORK

The Juvenile Detention Center Building has settled, causing problems with the aluminum storefront systems, including binding one leaf of each of two doorways. Grade beams will be installed at each of two exterior locations and set to level. Refer to Floor Elevations & Entry Systems sketch.

1. Remove three aluminum storefront sections and modify to fit new finish floor elevations.
2. Adjust existing doors to attain proper functionality.
3. Grade beam installation by others.
4. Floor leveling by others
5. HAZMAT Survey and remediation by others.



ABBREVIATIONS				SYMBOLS				PROJECT INFORMATION				GENERAL NOTES				SHEET INDEX			
A/C	AIR CONDITIONING	ID	INSIDE DIAMETER	THE FOLLOWING SYMBOLS IDENTIFY TYPICAL CONDITIONS AND ELEMENTS AND ARE AFFICABLE ONLY IF UTILIZED IN THE DOCUMENTS				A. PROJECT NAME: GRANT COUNTY JUVENILE DETENTION CENTER BUILDING LEVELING AND REPAIRS ADDRESS: 303 ABLE ROAD EPHRATA, WASHINGTON 98823				1. VERIFY ALL CONDITIONS & DIMENSIONS PRIOR TO STARTING WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES WITH THE DRAWINGS. 2. HAZARDOUS MATERIALS ARE NOT ANTICIPATED TO BE ENCOUNTERED DURING DEMOLITION OF EXISTING BUILDINGS. A 'GOOD FAITH' SURVEY HAS BEEN INCLUDED IN THE STATEMENT OF WORK. IF SUSPECT HAZARDOUS MATERIALS ARE ENCOUNTERED, CONTRACTOR SHALL STOP WORK IN THE AFFECTED AREA AND NOTIFY THE ARCHITECT. THE OWNER WILL BE RESPONSIBLE FOR SAMPLING, TESTING, AND REMOVAL OR ENCAPSULATION OF ANY HAZARDOUS MATERIAL. REMEDIATION WILL BE CONFINED TO WORK AREAS ONLY. OWNERS REMEDIATION DELAYS THAT STOP GENERAL CONSTRUCTION SHALL REQUIRE CONTRACT MODIFICATIONS AND EXTEND CONTRACT SUBSTANTIAL COMPLETION DATES ACCORDINGLY. 3. ALL GLASS IN DOORS & WITHIN 24" OF DOORS SHALL BE TEMPERED GLASS. 4. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE FOLLOWING CODES AND REGULATIONS: 2012 IBC, 2012 UPC, 2012 IMC, 2012 IFC, LATEST EDITION OF THE NEC, AMERICANS WITH DISABILITIES ACT, FEDERAL FAIR HOUSING AMENDMENTS ACT & ANY OTHER ADOPTED OR APPLICABLE CODE OR REGULATION, INCLUDING WASHINGTON STATE AMENDMENTS TO THOSE LISTED ABOVE. 5. THE DESIGN, ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS ETC., IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HAS NOT BEEN CONSIDERED BY THE ARCHITECT. THE CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE COMPLETION OF ALL SHEAR WALLS, ROOF AND FLOOR DIAPHRAGMS AND FINISH MATERIALS. THE CONTRACTOR SHALL PROVIDE THE NECESSARY BRACING TO PROVIDE STABILITY PRIOR TO THE APPLICATION OF THE ABOVE MENTIONED COMPONENTS. VISITS TO THE SITE BY THE ARCHITECT SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS. 6. IT SHALL BE NOTED AND ASSUMED THAT THE CURRENT BUILDING AND ITS ADDITIONS WERE CONSTRUCTED TO MEET BUILDING CODES AND ORDINANCES AT THE TIME OF CONSTRUCTION. NO CHANGES TO CURRENT USE OR OCCUPANCIES ARE PROPOSED. 7. UNDER CURRENT BUILDING CODES (2012 IBC) AN I-3 OCCUPANCY REQUIRES FULLY AUTOMATIC FIRE SPINKLER SYSTEMS BE INSTALLED. THE CURRENT BUILDING IS NOT EQUIPPED WITH AUTOMATIC SPRINKLER SYSTEMS AND DOES NOT COMPLY WITH CURRENT CODES. 8. WALLS (STRUCTURAL OR OTHERWISE) WILL NOT BE REMOVED OR RELOCATED AND IT IS THE INTENT ONLY TO STABILIZE EXISTING CONDITIONS. THE EXISTING STRUCTURE WILL NOT BE ALTERED. NEW FINISHES ARE PROPOSED DUE TO THE NATURE OF THE REPAIRS				6101 INDEX & GENERAL INFORMATION 6102 OCCUPANCY AND EXIT DIAGRAMS 61.0 GENERAL NOTES AND TYPICAL DETAILS 62.0 FILE LOCATION PLAN 63.0 CONSTRUCTION DETAILS A101 FLOOR PLAN - WALL AND CEILING REPAIR PLAN A102 FLOOR PLAN - FLOOR AND FOUNDATION REPAIR PLAN A103 FLOOR PLAN - DOOR REPAIR AND REPLACEMENT PLAN A104 FLOOR PLAN - FLOOR FINISH PLAN A105 FLOOR PLAN - PHOTO LOG COORDINATION PLAN A201 EXTERIOR ELEVATIONS A501 ARCHITECTURAL DETAILS A601 SCHEDULES			
AB	ANCHOR BOLT	INCL	INCLUDED(D)(ING)																
ACC	ACCESSIBLE	INSUL	INSULATED(D)(ION)																
ACS PNL	ACCESS PANEL	INT	INTERIOR																
ACT	ACOUSTICAL CEILING TILE	INV	INVERT																
AD	AREA DRAIN	JAN	JANITOR																
AFF	ABOVE FINISH FLOOR	JT	JOINT																
ALUM	ALUMINUM																		
APA	AMERICAN PLYWOOD ASSOCIATION																		
ARCH	ARCHITECT (URAL)	KIT	KITCHEN																
BD	BOARD	L	LONG																
BLDG	BUILDING	LAM	LAMINATED(D)(ION)																
BLKG	BLOCKING	LAV	LAVATORY																
BM	BEAM	LF	LINEAR FEET																
BOT	BOTTOM	LIN	LINEAR																
BR	BEDROOM	LL	LIVE LOAD																
BRG	BEARING	LT	LIGHT																
BTWN	BETWEEN																		
BUR	BUILT-UP ROOFING	MATL	MATERIAL																
CAB	CABINET	MECH	MECHANICAL																
CB	CATCH BASIN	MEZZ	MEZZANINE																
CF/C1	CONTRACTOR FURNISHED / CONTRACTOR INSTALLED	MFR	MANUFACTURER																
CF/O1	CONTRACTOR FURNISHED / OWNER INSTALLED	MH	MANHOLE																
CJ	CONTROL JOINT	MIN	MINIMUM																
CL	CENTER LINE	MO	MASONRY OPENING																
CLG	CEILING	MT	MOUNTED																
CLO	CLOSET	MTL	METAL																
CLR	CLEAR	N	NORTH																
CMU	CONCRETE MASONRY UNIT	NG	NOT IN CONTR																
COL	COLUMN	NOM	NOMINAL																
CONC	CONCRETE	NTS	NOT TO SCALE																
CONSTR	CONSTRUCTION	OC	ON CENTER																
CONTR	CONTRACTOR	OD	OUTSIDE DIAMETER																
CPT	CARPET	OF/C1	OWNER FURNISHED / CONTRACTOR INSTALLED																
CSK	COUNTERSUNK CERAMIC TILE	OF/O1	OWNER FURNISHED / OWNER INSTALLED																
CT	CUBIC FEET	OPNS	OPENING																
CU FT	CUBIC FEET	OPR	OPPOSITE																
CU YD	CUBIC YARD	ORD	OVERFLOW ROOF DRAIN																
D	DEEP, CLOTHES DRYER	PBD	PARTICLE BOARD																
DBL	DOUBLE	PCC	PRECAST CONCRETE																
DET	DETAIL	PIV	POST INDICATOR VALVE																
DF	DRINKING FOUNTAIN	PL	PROPERTY LINE																
DIA	DIAMETER	PLAM	PLASTIC LAMINATE																
DIAG	DIAGONAL	PLAS	PLASTIC																
DIM	DIMENSION	PLF	POUNDS PER LINEAL FOOT																
DIV	DIVISION	PLYMD	PLYWOOD																
DL	DEAD LOAD	PNL	PANEL																
DR	DOOR	PNT	PAINT																
DS	DOWNSPOUT	PSF	POUNDS PER SQUARE FOOT																
DTL	DETAIL	PSI	POUNDS PER SQUARE INCH																
DW	DISHWASHER	PT	PRESSURE TREATED																
DWG	DRAWING	PTD	PAPER TOWEL DISPENSER																
E	EAST	PTN	PARTITION																
EJ	EXPANSION JOINT	QT	QUARRY TILE																
EL	ELEVATION																		
ELEC	ELECTRIC(AL)																		
ELEV	ELEVATOR	R	RISER, RADIUS																
EQ	EQUAL	RA	RETURN AIR																
EQUIP	EQUIPMENT	RB	RUBBER BASE																
EW	EACH WAY	RD	ROOF DRAIN																
EXH	EXHAUST	REF	REFRIGERATOR																
EXIST	EXISTING	REV	REVISION, REVISED																
EXP	EXPOSED, EXPANSION	RM	ROOM																
EXP BT	EXPANSION BOLT	RO	ROUGH OPENING																
EXT	EXTERIOR	ROW	RIGHT OF WAY																
FA	FIRE ALARM	RVC	RAINWATER CONDUCTOR																
FD	FLOOR DRAIN	RVL	RAINWATER LEADER																
FDC	FIRE DEPARTMENT CONNECTION	S	SOUTH																
FDTN	FOUNDATION	SA	SUPPLY AIR																
FE	FIRE EXTINGUISHER	SCMD	SOLID CORE WOOD DOOR																
FEC	FIRE EXTINGUISHER	SF	SQUARE FEET																
FF	FACTORY FINISH	SHT	SHEET																
FH	FIRE HYDRANT	SIM	SIMILAR																
FIN	FINISH	SPEC	SPECIFICATION																
FLR	FLOOR(ING)	SQ	SQUARE																
FLUOR	FLUORESCENT	SST	STAINLESS STEEL																
FP	FIREPROOF	SUSP	SUSPENDED																
FR	FRAME(D)(ING)	SV	SHEET VINYL																
FRP	FIBERGLASS REINFORCED	T	TREAD																
FRTH	FIRE RETARDANT TREATED WOOD	TB	TOWEL BAR																
FT	FEET	THK	THICKNESS																
FTG	FOOTING	TO	TOP OF																
GA	GAGE, GAUGE	TPD	TOILET PAPER DISPENSER																
GALV	GALVANIZED	TYP	TYPICAL																
GB	GRAB BAR	UGND	UNDERGROUND																
GC	GENERAL CONTRACTOR	UNO	UNLESS NOTED OTHERWISE																
GFCI	GROUND FAULT CIRCUIT INTERRUPT	UR	URINAL																
GL	GLASS, GLAZING	VCT	VINYL COMPOSITION TILE																
GLU LAM	GLUE LAMINATED WOOD	VERT	VERTICAL GRAIN																
GUT	GUTTER	VG	VERTICAL GRAIN																
GYP BD	GYPSPUM BOARD	W	WEST, WIDE, CLOTHES WASHER																
H	HIGH	WC	WATER CLOSET																
HB	HOSE BIBB	WD	WOOD																
HCND	HOLLOW CORE WOOD DOOR	WDM	WINDOW																
HDW	HARDWARE	WH	WATER HEATER																
HM	HOLLOW METAL	WP	WEATHERPROOF																
HORIZ	HORIZONTAL	WECT	WAINSCOT																
HP	HEAT PUMP	WMF	WELDED WIRE FABRIC																
HT	HEIGHT	WMM	WELDED WIRE MESH																
HVAC	HEATING, VENTILATING, & AIR CONDITIONING	XFMR	TRANSFORMER																

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6829

REGISTERED ARCHITECT

William A. Froemke

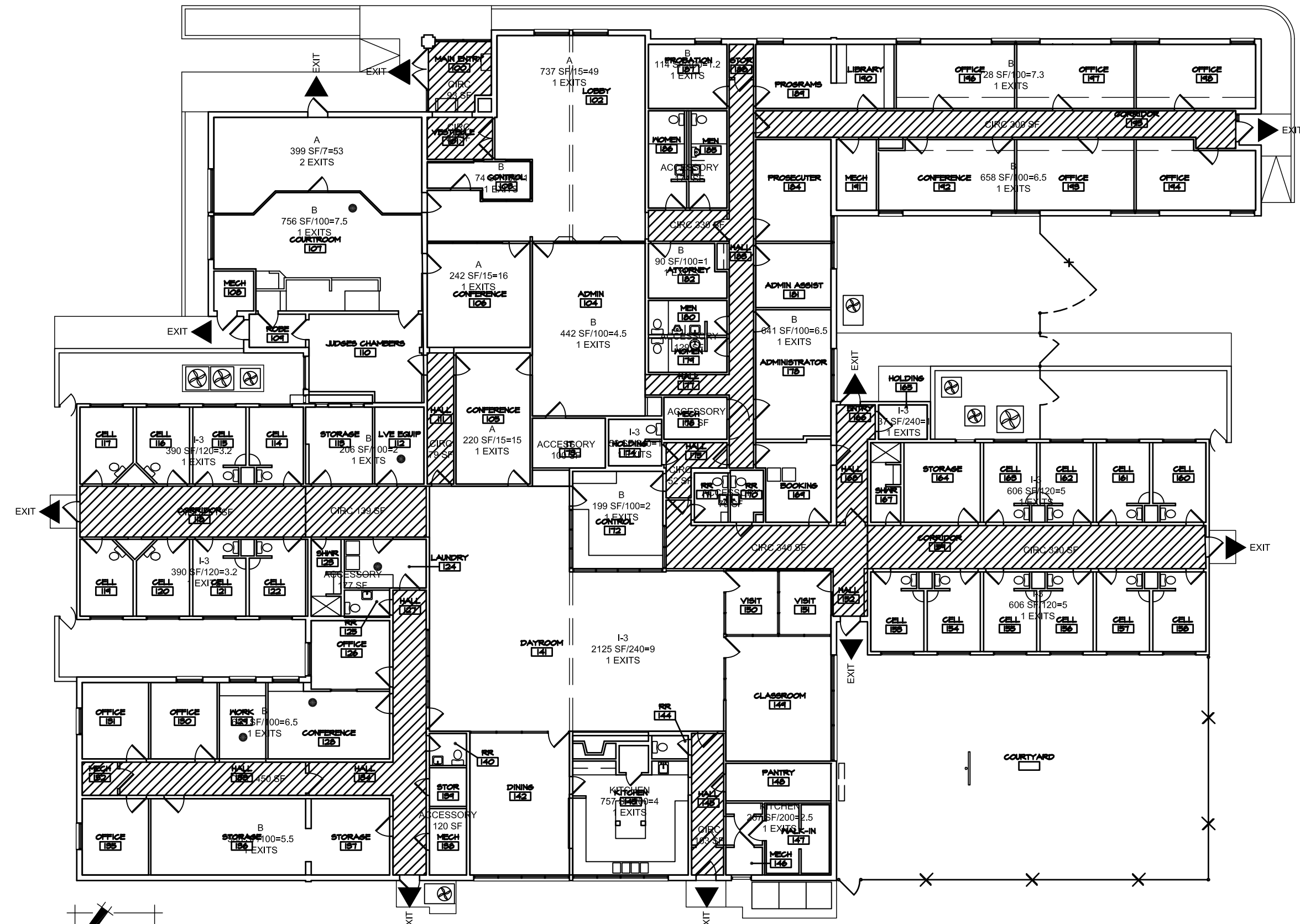
WILLIAM ARTHUR FROEMKE  
STATE OF WASHINGTON

PROJECT NO. 1528

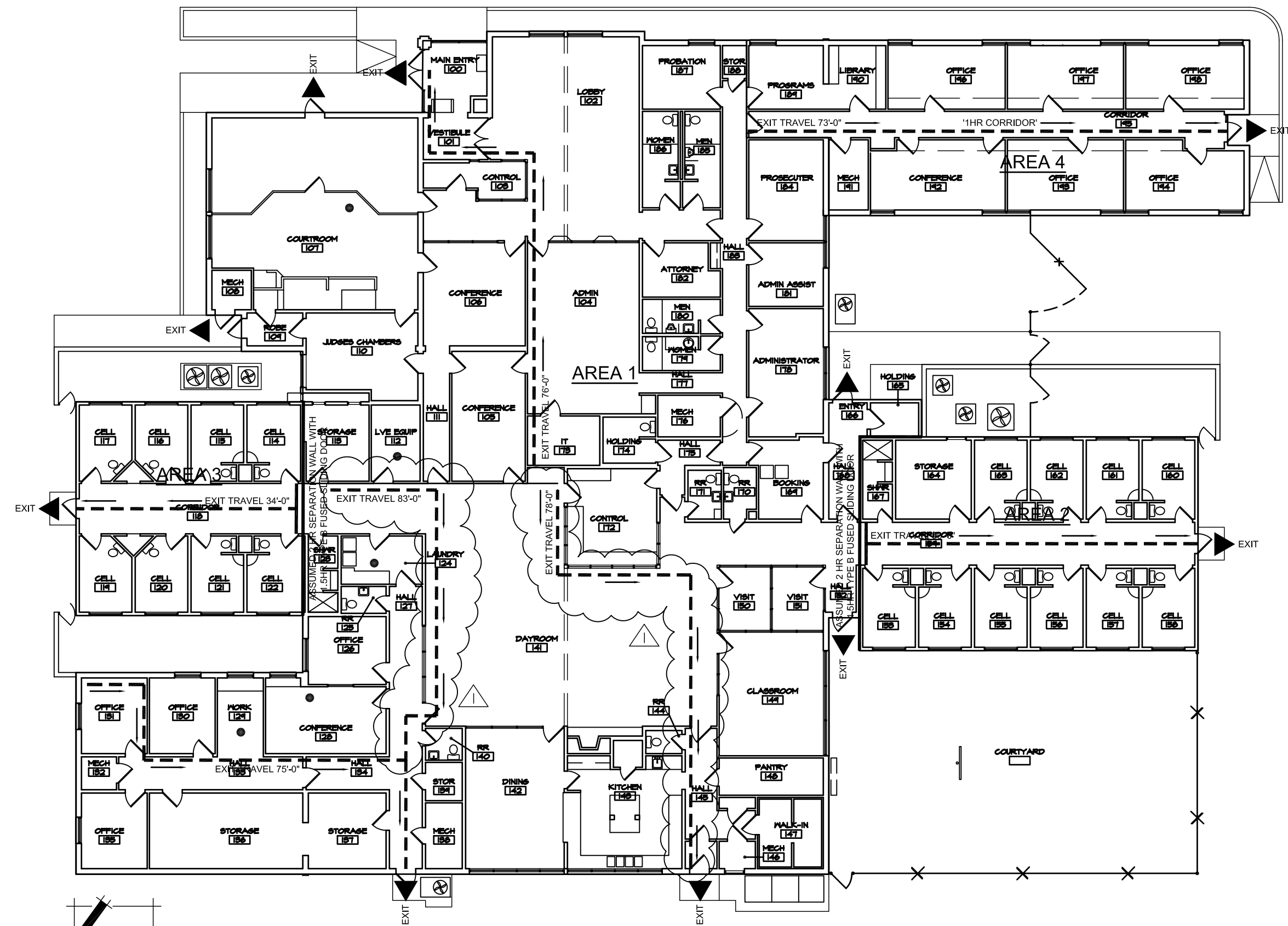
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1 OCCUPANCY / EXIT DIAGRAMS  
SCALE: 1/16" = 1'-0"  
NORTH



2 OCCUPANCY / EXIT DIAGRAMS  
SCALE: 1/16" = 1'-0"  
NORTH

## GENERAL NOTES

- THIS DIAGRAM IS PURELY SCHEMATIC AND BASED ON DRAWING INFORMATION RECEIVED FROM THE OWNER. INFORMATION HEREIN IS NOT DEEMED COMPLETE OR CONTAIN ALL MODIFICATIONS TO THE EXISTING BUILDING. CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD. ARCHITECT TAKES NO RESPONSIBILITY FOR MISSING OR INCORRECT INFORMATION.
- INDICATED BUILDING AREA SEPARATIONS ARE ASSUMED TO BE CONTINUOUS FROM SLAB TO DECK.

## AREA ANALYSIS

### AREA 1

GROSS SF 11,562 SF  
NET SF 10,632 SF  
CONST TYPE VB  
OCC B, A, I-3  
OCC LOAD 183\*  
EXITS REQD 2  
EXITS PRVD 1

\*OCCUPANCY IS BASED ON NET SF TOTAL OCCUPIED SPACES AND DOES NOT INCLUDE ACCESSORY OR CIRCULATION AREAS AS FOLLOWS:  
• 8149 SF (B, A, I-3)  
• 2483 SF (ACCESSORY, CIRCULATION)

### AREA 2

GROSS SF 1674 SF  
NET SF 1543 SF  
CONST TYPE IIB (4HR)  
OCC I-3  
OCC LOAD 10  
EXITS REQD 1  
EXITS PRVD 1

### AREA 3

GROSS SF 1122 SF  
NET SF 1045 SF  
CONST TYPE IIB (4HR)  
OCC I-3  
OCC LOAD 7  
EXITS REQD 1  
EXITS PRVD 1

### AREA 4

GROSS SF 1871 SF  
NET SF 1686 SF  
CONST TYPE VB  
OCC B  
OCC LOAD 14  
EXITS REQD 1  
EXITS PRVD 1

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GENERAL NOTES

CODES & STANDARDS

- 1. INTERNATIONAL BUILDING CODE – 2012 IBC
- 2. AMERICAN SOCIETY OF CIVIL ENGINEERS – ASCE 7-10
- 3. AMERICAN CONCRETE INSTITUTE – ACI 318-11
- 4. AMERICAN INSTITUTE OF STEEL CONSTRUCTION – AISC 360
- 5. AMERICAN WELDING SOCIETY – AWS D1.1
- 6. NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION – NDS 2012
- 7. ASTM STANDARDS FOR THE MATERIALS SPECIFIED.

DESIGN & STRUCTURAL CRITERIA

- 1. PROJECT LOCATION: EPHRATA WASHINGTON
- 2. OCCUPANCY CATEGORY: CATEGORY II
- 3. ROOF LOADS
  - 3.1. LIVE LOAD: 20 PSF
  - 3.2. DEAD LOAD: 15 PSF
  - 3.3. MINIMUM DESIGN SNOW LOAD: 30 PSF

MISCELLANEOUS

- 1. THE CONTRACTOR AND SUB-TRADES SHALL FURNISH ALL REQUIRED MATERIAL, LABOR, EQUIPMENT AND PERFORM ALL WORK AS NECESSARY, AS INDICATED ON THE PROJECT DOCUMENTS, OR AS REASONABLY INFERRED TO EXECUTE THE SCOPE OF WORK FOR A PROPERLY FINISHED, COMPLETE JOB.
- 2. THE QUALITY OF WORKMANSHIP SHOULD BE SET AND SUPERVISED BY THE CONTRACTOR TO PASS BUILDING DEPT. OR ENGINEER INSPECTION FOR ROUGH CONSTRUCTION. THE LEVEL OF QUALITY AND TOLERANCE SHOULD BE APPROPRIATE FOR THE INSTALLED ELEMENT TO RECEIVE THE NEXT IN-LINE FINISH ASPECT OF CONSTRUCTION.
- 3. THE PURPOSE OF PROJECT DRAWINGS IS TO DEPICT THE OVERALL SCOPE OF THE PROJECT. THE PROJECT DRAWINGS HAVE BEEN DEVELOPED TO SHOW A LEVEL OF DETAIL WITH THE OBJECTIVE OF PLAN CHECK APPROVAL AND ISSUANCE OF A BUILDING PERMIT. THIS MODERATE LEVEL OF DETAIL USED SHOULD ALLOW FOR A VARIETY OF STANDARD CONSTRUCTION METHODS AND SEQUENCES. THE PROJECT DRAWINGS ARE INTENDED TO COMPLY WITH THE ORDINANCES, RULES AND REGULATIONS OF THE JURISDICTION IN WHICH THE BUILDING IS LOCATED.
- 4. THE CONTRACTOR IS RESPONSIBLE FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK THAT CONFORMS TO THE REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) SAFETY AND HEALTH STANDARDS FOR THE CONSTRUCTION INDUSTRY.
- 5. THE CONTRACT STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNOLOGIES, SEQUENCES AND PROCEDURES.
- 6. WHERE REFERENCE IS MADE TO VARIOUS TEST STANDARDS FOR MATERIALS, SUCH STANDARDS SHALL BE THE LATEST EDITION AND/OR ADDENDUM.
- 7. OPTIONS ARE FOR CONTRACTOR'S CONVENIENCE. THEY SHALL BE RESPONSIBLE FOR ALL CHANGES NECESSARY IF THEY CHOOSE AN OPTION AND THEY SHALL COORDINATE ALL DETAILS.
- 8. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS. WHERE NO SPECIFIC DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT.
- 9. TYPICAL DETAILS ARE NOT CUT ON DRAWINGS, BUT APPLY UNLESS NOTED OTHERWISE.
- 10. WHERE ANY DISCREPANCIES OCCUR BETWEEN PLANS, DETAILS, GENERAL STRUCTURAL NOTES AND SPECIFICATIONS, THE GREATER REQUIREMENTS SHALL GOVERN.
- 11. ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE STRUCTURAL ENGINEER BEFORE PROCEEDING WITH RELATED WORK.
- 12. VISITS TO THE JOBSITE BY THE ENGINEER TO OBSERVE CONSTRUCTION DO NOT IN ANY WAY MEAN THAT THEY ARE THE GUARANTORS OF THE CONTRACTORS WORK, NOR SUPERVISION, NOR SAFETY AT THE JOBSITE.
- 13. ANY ENGINEERING DESIGN PROVIDED BY OTHERS AND SUBMITTED FOR REVIEW SHALL BEAR THE SEAL OF A CIVIL OR STRUCTURAL ENGINEER REGISTERED IN THE STATE IN WHICH THE PROJECT IS LOCATED.

STRUCTURAL STEEL

- 1. ALL CONSTRUCTION SHALL BE PER THE LATEST AISC AND AWS CODES.
- 2. STEEL PROPERTIES

CHANNELS, PLATES AND ANGLES = ASTM A36 Fy = 36 KSI  
BOLTS = ASTM A325  
ANCHOR RODS (BOLTS) = ASTM F1554 Fy = 36 KSI  
NUTS = ASTM A563  
WASHERS = ASTM F436  
THREADED RODS = ASTM A36 Fy = 36 KSI  
WELDING ELECTRODES = E70XX, U.N.O.  
DRILL IN ANCHORS = A36 RODS WITH HILTI HY-150, SIMPSON SET, REDHEAD EPCON 7 OR SER APPROVED EQUAL WITH CURRENT ICC REPORT

- 3. ALL BOLTS, ANCHOR BOLTS, EXPANSION/ADHESIVE ANCHORS, ETC. SHALL BE INSTALLED WITH STEEL WASHERS.
- 4. ALL EXPOSED EXTERIOR STEEL, BOLTS AND ANCHORS SHALL BE HOT DIP GALVANIZED PER ASTM A123 AND ASTM A153.

STATEMENT OF SPECIAL INSPECTIONS

- 1. SPECIAL INSPECTION AND TESTING SHALL BE PROVIDED BY THE OWNER IN ACCORDANCE WITH CHAPTER 17 OF THE IBC.
- 2. ALL SPECIAL INSPECTORS SHALL BE UNDER THE SUPERVISION OF A REGISTERED CIVIL OR STRUCTURAL ENGINEER LICENSED IN THE STATE IN WHICH THE WORK IS TO BE PERFORMED. ALL INSPECTIONS SHALL BE PERFORMED BY EXPERIENCED PERSONNEL MEETING THE REQUIREMENTS OF THE IBC AND AC291 "ACCREDITATION CRITERIA FOR SPECIAL INSPECTION AGENCIES" AND SHALL BE APPROVED BY THE LICENSED ENGINEER OF RECORD.
- 3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE SPECIAL INSPECTOR OR SPECIAL INSPECTION AGENCY AT LEAST TWO WORKING DAYS PRIOR TO PERFORMING ANY WORK THAT REQUIRES SPECIAL INSPECTION. ALL WORK PERFORMED WITHOUT THE REQUIRED SPECIAL INSPECTION IS SUBJECT TO REMOVAL.

PILES

- 1. TESTING SHALL BE CONDUCTED ON INSTALLED PILES AS REQUIRED IN THE PROJECT SPECIFICATIONS.
- 2. THE OWNER'S AGENT OR OWNER'S SPECIAL INSPECTION FIRM SHALL WITNESS AND INSPECT ALL PILE INSTALLATIONS.
- 3. REFER TO THE PROJECT SPECIFICATIONS FOR MORE INFORMATION REGARDING PILES, THEIR DESIGN, TESTING AND SO FORTH.

WOOD

- 1. ALL WOOD TO BE CONSTRUCTED USING STANDARD PRACTICES.
- 2. PROVIDE ALL ACCESSORY ITEMS FOR ENGINEERED WOOD PRODUCTS (BLOCKS, CLIPS, STRAPS, STIFFENERS, ETC) DESIGNED BY THE MANUFACTURER AS REQUIRED.
- 3. FOLLOW ALL MANUFACTURERS RECOMMENDATIONS FOR INSTALLATION OF ALL ENGINEERED WOOD PRODUCTS AND ALL FRAMING CONNECTORS, HANGERS AND ANCHORS.
- 4. PROVIDE FULL BEARING FOR ALL FRAMING MEMBERS UNLESS SHOWN OTHERWISE.
- 5. ALL WOOD FRAMING MEMBERS SHALL BE D.F. #2 UNLESS NOTIFIED OTHERWISE ON THE PLANS. ALL GLUE LAMINATED BEAMS (GLB) SHALL BE 24F-V4 (24F-V8 FOR CANTILEVER SPANS) AND AC V12 FOR EXPOSED APPLICATIONS UNLESS BEAM IS PROTECTED FROM WEATHER THEN 24F IS ACCEPTABLE.
- 6. ALL TIMBER SHALL BE CONSTRUCTED ACCORDING TO MINIMUM STANDARDS OUTLINED IN CHAPTER 23 OF THE 2012 IBC INCLUDING USING THE FASTENING SCHEDULE (TABLE 2304.9.1 OF 2012 IBC), EXCEPT AS NOTED DIFFERENTLY ON PLANS.
- 7. ALL LUMBER IN CONTACT WITH GROUND, CONCRETE, OR EXPOSED TO WEATHER SHALL BE PRESSURE TREATED. ALL METAL EXPOSED TO WEATHER OR IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE STAINLESS STEEL, HOT DIPPED GALVANIZED (MIN. G180) OR OTHERWISE PROTECTED AGAINST CORROSION.

SHOP DRAWINGS

- 1. THE GENERAL CONTRACTOR WILL REVIEW AND STAMP ALL SHOP DRAWINGS AND PRODUCT DATA FOR CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS PRIOR TO SUBMISSION. ANY SHOP DRAWINGS OR PRODUCT DATA NOT REVIEWED AND STAMPED BY THE GENERAL CONTRACTOR WILL BE RETURNED WITHOUT REVIEW.
- 2. ANY SHOP DRAWING NOT CHECKED AND INITIALED BY THE SUPPLIER/DETAILER PRIOR TO SUBMITTING FOR ARCHITECTURAL AND ENGINEERING REVIEW, WILL BE RETURNED WITHOUT REVIEW.
- 3. THE CONSTRUCTION DOCUMENTS MAY NOT BE REPRODUCED FOR USE AS SHOP DRAWINGS.
- 4. ELECTRONIC FILES OF CONSTRUCTION DOCUMENTS WILL NOT BE MADE AVAILABLE FOR USE AS SHOP DRAWINGS.
- 5. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER IN ELECTRONIC FORMAT.
- 6. REVIEW OF SHOP DRAWINGS BY THE ENGINEER IS FOR GENERAL CONFORMANCE WITH THE DESIGN CONCEPT AND GENERAL COMPLIANCE WITH THE CONTRACT DOCUMENTS. REVIEW OF SUCH SHOP DRAWINGS BY THE ENGINEER SHALL NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR CORRECTNESS OF DIMENSIONS, FABRICATION DETAILS, SPACE REQUIREMENTS, AND ERRORS IN THE SHOP DRAWINGS, OR FOR DEVIATIONS FROM THE CONTRACT DRAWINGS OR SPECIFICATIONS UNLESS THE CONTRACTOR HAS SPECIFICALLY CALLED ATTENTION TO SUCH DEVIATIONS IN WRITING BY A LETTER ACCOMPANYING THE SHOP DRAWINGS AND THE ENGINEER APPROVES SUCH CHANGE OR DEVIATION IN WRITING.

CONCRETE

- 1. CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF ACI 301, "STANDARD SPECIFICATIONS FOR STRUCTURAL CONCRETE" AND ACI 318, "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE." ALL REINFORCING SHALL CONFORM TO THE CRSI SPECIFICATIONS & HANDBOOK. CONCRETE PLACEMENT SHALL MEET ALL COLD WEATHER AND HOT WEATHER REQUIREMENTS OUTLINED IN ACI 306 & 305 RESPECTIVELY.
- 2. ADDITION OF WATER TO THE BATCH FOR MATERIAL WITH INSUFFICIENT SLUMP WILL NOT BE PERMITTED, UNLESS THE SUPPLIER HAS SPECIFICALLY WITHHELD WATER FROM THE BATCH AT THE PLANT. IN SUCH CASE THE MIX DESIGN AND TRUCK TICKET MUST CLEARLY STATE THE MAXIMUM AMOUNT OF WATER THAT CAN BE ADDED TO THE BATCH ON SITE. IN NO CASE SHALL THE DESIGN WATER TO CEMENTITIOUS MATERIAL RATIO BE EXCEEDED.
- 3. CONCRETE CONTAINING SUPERPLASTICIZING ADMIXTURE SHALL HAVE A SLUMP OF 4" +/- 1", TO BE FIELD VERIFIED, PRIOR TO ADDING ADMIXTURE, AND NOT EXCEEDING 8" AT PLACEMENT.
- 4. MECHANICALLY VIBRATE ALL CONCRETE WHEN PLACED, EXCEPT THAT SLABS ON GRADE NEED BE VIBRATED ONLY AROUND UNDER-FLOOR DUCTS, SLAB EDGES, REINFORCING, KEYS, ETC.
- 5. IF CONCRETE IS PLACED BY THE PUMP METHOD, SUPPORTS SHALL BE PRODUCED FOR THE HOSE. THE HOSE SHALL NOT BE ALLOWED TO CONTACT THE REBAR OR TENDONS. THIS REQUIREMENT IS MANDATORY. DISCHARGE SHALL BE DIRECTED SO AS TO PREVENT DISPLACEMENT OF REBAR, TENDONS, OR ACCESSORIES.
- 6. CONCRETE PROPERTIES:

USE: STRENGTH: MAX W/C: AIR:

WALLS	4,500 PSI	.45	5%+-1%
U.N.O.	3,000 PSI	.47	5%+-1%

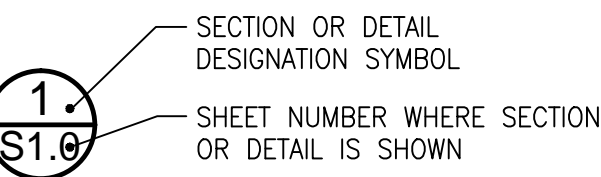
- 7. ALL CONCRETE HAS BEEN DESIGNED USING 2500 PSI COMPRESSIVE STRENGTH AND THEREFORE MATERIAL TESTING SUCH AS COMPRESSIVE STRENGTHS ARE NOT REQUIRED. ALL OTHER INSPECTIONS ARE REQUIRED AS SPECIFIED BY THE IBC.
- 8. REINFORCING SHALL BE CONTINUOUS AROUND ALL CORNERS AND THROUGH CONSTRUCTION JOINTS UNLESS SHOWN OTHERWISE.
- 9. CONCRETE COVER FOR MAIN REINFORCEMENT SHALL BE PROVIDED AS FOLLOWS, (U.N.O.):
  - MIN COVER (IN)
  - CAST AGAINST & EXPOSED TO EARTH 3"
  - EXPOSED TO EARTH OR WEATHER
    - NO. 6 THROUGH NO 18 BARS 2"
    - NO. 5 BARS AND SMALLER 1½"
- 10. ALL HOOKS ON ALL BARS SHALL BE STANDARD 90 DEGREE HOOKS UNLESS SHOWN OTHERWISE.
- 11. ALL CONDUITS, GROUND WIRES, DRAINS, ANCHOR BOLTS, OTHER EMBEDDED ITEMS, ETC. SHALL BE IN PLACE BEFORE CONCRETE PLACEMENT.
- 12. REINFORCING LAP SPLICES IN CONCRETE SHALL BE PER TYPICAL DETAIL UNLESS NOTED OTHERWISE. ALL SPLICE LOCATIONS ARE SUBJECT TO APPROVAL. PROVIDE BENT CORNER BARS TO MATCH AND LAP WITH HORIZONTAL BARS AT CORNERS AND INTERSECTIONS OF FOOTINGS AND WALLS.
- 13. ALL FIELD BENDING OF REINFORCING SHALL BE STANDARD 90 DEGREE HOOKS AS DEFINED IN CURRENT ACI 318 UNLESS NOTED OR DETAILED OTHERWISE. REINFORCING STEEL SHALL NOT BE BENT OR STRAIGHTENED IN A MANNER INJURIOUS TO THE CONCRETE OR STEEL.
- 14. WHEN TOTAL NUMBER OF REINFORCING BARS IS SHOWN ON DESIGN DRAWINGS AND SPACING IS NOT SPECIFIED, BARS SHALL BE EQUALLY SPACED.
- 15. DETAILS OF REINFORCING NOT SHOWN IN THESE PLANS SHALL BE DONE IN ACCORDANCE WITH ACI 315 AND ACI 318.
- 16. ALL SLABS-ON-GRADE SHALL HAVE CONTROL JOINTS CUT IN CONCRETE WITHIN 8 HOURS OF PLACEMENT AT A SPACING NO GREATER THAN 12' O.C.E.W. (U.N.O. ON PLANS).

ANCHORAGE

- 1. DRILLED-IN EXPANSION ANCHORS: "STRONG-BOLT" BY SIMPSON STRONG-TIE ANCHOR SYSTEMS, ICC EVALUATION REPORT 1771.
- 2. DRILLED-IN EPOXY ANCHORS AND EMBEDDED REINFORCING: "HILTI HY200" ADHESIVE ANCHOR SYSTEM FOR CONCRETE, SOLID MASONRY OR BRICK BY HILTI FASTENING SYSTEMS, ICC EVALUATION REPORT ESR-3187.
- 3. CONCRETE SCREWS: POWERS WEDGE-BOLT, ICC EVALUATION REPORT ER-2523.
- 4. PRODUCTS BY OTHER MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL. ICC EVALUATION REPORT FOR CAPACITIES IN CRACKED CONCRETE REQUIRED.

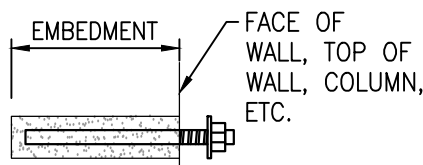
LEGEND AND ABBREVIATIONS

ACI	AMERICAN CONCRETE INSTITUTE	L	STEEL ANGLE
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	LG	LIGHT GAUGE
ALT	ALTERNATE	LONG	LONGITUDINAL
APPROX	APPROXIMATE	MAX	MAXIMUM
AB	ANCHOR BOLTS	MECH	MECHANICAL
ARCH	ARCHITECTURAL	MFR	MANUFACTURER
ASTM	AMERICAN SOCIETY FOR TESTING MATERIAL	MIN	MINIMUM
	BETWEEN	MISC	MISCELLANEOUS
	BUILDING	NFC	NOT FOR CONSTRUCTION
	BLOCKING	NTS	NOT TO SCALE
	BEAM	OC	ON CENTER
	PT	OPP	OPPOSITE
	PREFAB	OWJ	OPEN WEB JOIST
	REF	PL	PLATE
	REIN	PT	PREFABRICATED
	REQ'D	REF	PRESSURE TREATED
	REV	REIN	REFERENCE
	SCHED	REQ'D	REINFORCEMENT
	SIM	REV	REQUIRED
	SOG	SCHED	REVISION/REVISED
	SPA	SIM	SCHEDULE
	SPEC	SOG	SIMILAR
	SQ	SPA	SLAB ON GROUND
	STD	SPEC	SPACE, SPACING
	STRUCT	SQ	SPECIFICATION(S)
	SYM	STD	SQUARE
	T&B	STRUCT	STANDARD
	THRU	SYM	STRUCTURAL
	TOC	T&B	SYMMETRICAL
	TOF	THRU	TOP AND BOTTOM
	TOS	TOC	THROUGH
	TOW	TOF	TOP OF CONCRETE
	TYP	TOS	TOP OF FOOTING
	UNO	TOW	TOP OF STEEL/SLAB
	VERT	TYP	TOP OF WALL
	W/	UNO	TYPICAL
	WP	VERT	UNLESS NOTED OTHERWISE
	WT	W/	VERTICAL
		WF	WITH
		WP	WIDE FLANGE
		WT	WORK POINT
			WEIGHT



SECTION OR DETAIL DESIGNATION SYMBOL  
SHEET NUMBER WHERE SECTION OR DETAIL IS SHOWN

ADHESIVE ANCHOR SCHEDULE		
THREADED ANCHOR DIAMETER	VERTICAL AND HORIZONTAL ANCHOR EMBEDMENT LENGTH	
	CONCRETE	MASONRY
½"	4½"	4½"
¾"	5½"	5"
¾"	6¾"	6½"
7/8"	7½"	---
1"	9"	---



PROVIDE ADHESIVE ANCHORS PER THIS SCHEDULE UNLESS NOTED OTHERWISE ON PLANS OR DETAILS.

ADHESIVE ANCHORS USED IN MASONRY SHALL BE INSTALLED IN GROUTED CELLS. IF GROUTED CELLS ARE NOT ENCOUNTERED, BREAK INTO CELL AND GROUT SOLID FOR 8" MINIMUM ABOVE AND BELOW BOLT LOCATION.

THREADED ANCHORS SHALL BE INSTALLED WITH STEEL WASHERS.

APPROVED ADHESIVE ANCHORS ARE HILTI HY 200 (ESR-3187), SIMPSON STRONG-TIE SET (ESR-1772), POWERS AC100+GOLD (ESR-2582), OR APPROVED EQUIVALENT.

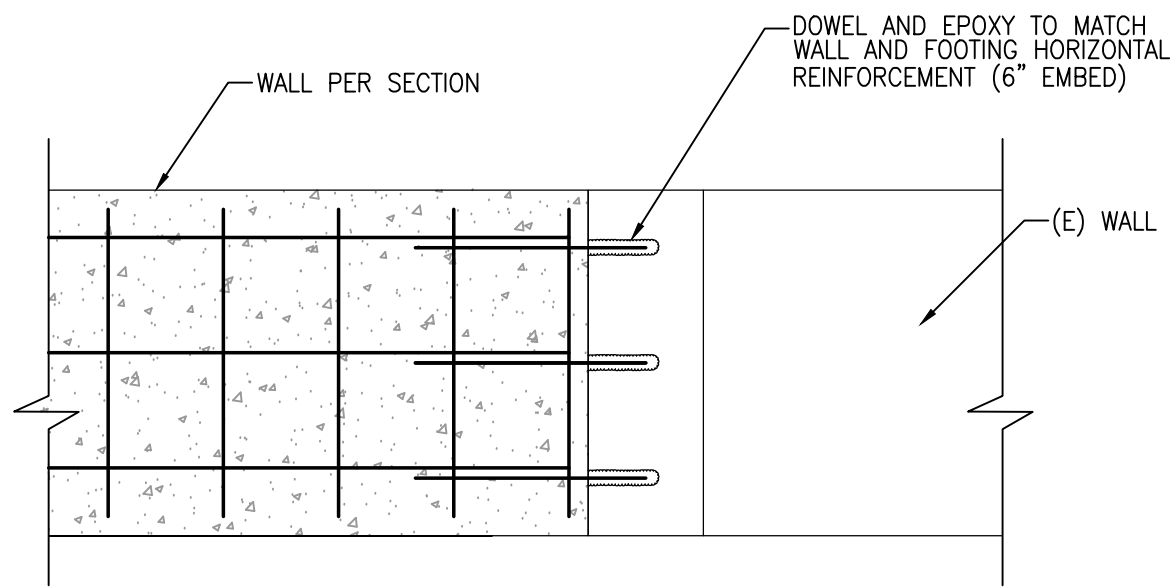
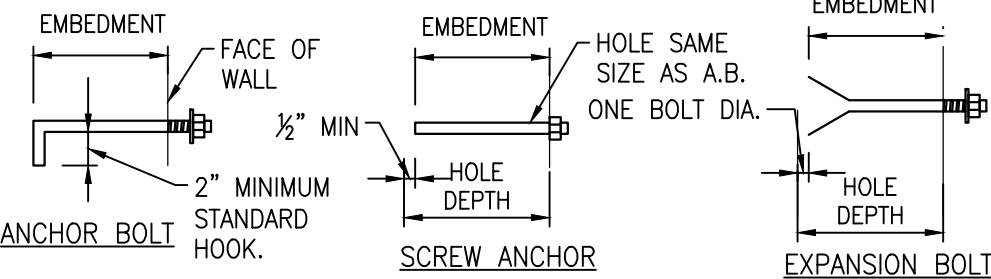
ANCHOR BOLT AND EXPANSION SCHEDULE FOR COLUMN ANCHOR BOLTS, SEE COLUMN SCHEDULE		
BOLT DIAMETERS	VERT. BOLT EMBEDMENT LENGTH	HORIZ. BOLT EMBEDMENT LENGTH
½"	6"	4"
¾"	6"	4"
¾"	7"	5"
7/8"	8"	6"
1"	9"	7"
1½"	11"	9"
1½"	12"	10"

PROVIDE ANCHORS, ANCHOR BOLTS AND EXPANSION BOLTS PER THIS SCHEDULE UNLESS NOTED OTHERWISE ON PLANS OR DETAILS. ANCHOR BOLTS AND EXPANSION BOLTS SHALL BE INSTALLED WITH STEEL WASHERS.

APPROVED EXPANSION BOLTS IN MASONRY ARE SIMPSON (ICBO #ER-3631), HILTI (ICBO #ER-5171) OR POWERS POWER-STUD+ SD1 (ESR-2966) APPROVED EQUIVALENT.

APPROVED EXPANSION BOLTS IN CONCRETE ARE HILTI KWIK-BOLT II (ICBO #ER-4627), ITW RAMSET/RED HEAD TRUBOLT (ICBO #1372), SIMPSON (ICBO #ER-3631) OR POWERS POWER-STUD+ SD1 (ESR-2818) APPROVED EQUIVALENT.

APPROVED SCREW ANCHORS ARE HILTI KWIK HUS/HUS-EZ (ESR-3027, ESR-3056), SIMPSON TITEN HD (ESR-2713, ESR-1056), RED HEAD LARGE DIA. TAPCON (ESR-2202, ESR-1671), POWERS WEDGE BOLT+ (ESR-2526, ESR-1678) OR APPROVED EQUIVALENT.

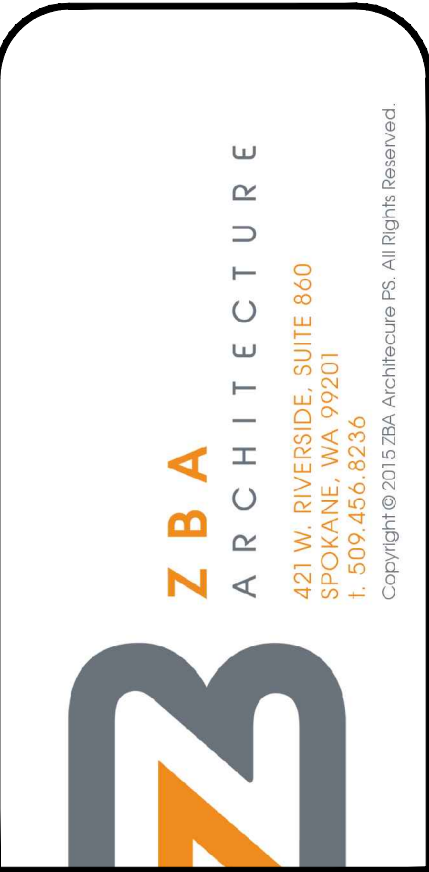


GRADE BEAMS TO EXISTING FOUNDATIONS

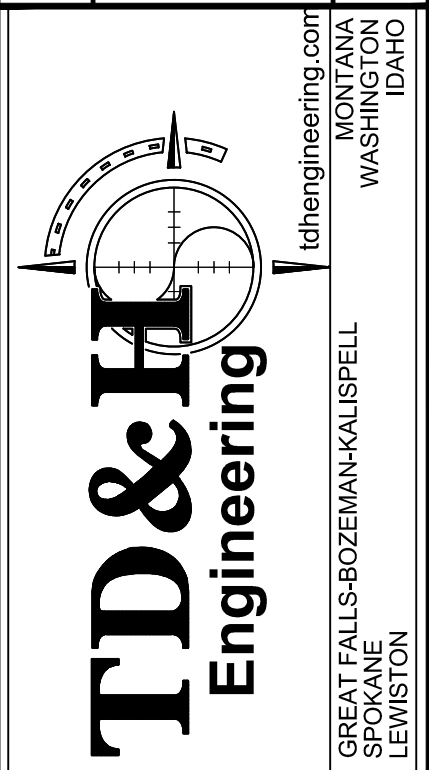
1 ADHESIVE ANCHOR BOLTS NTS

2 ANCHOR BOLTS NTS

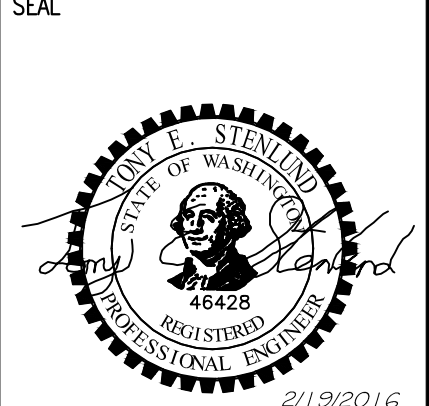
3 NEW TO EXISTING NTS



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No.	DATE	BY



SHEET TITLE	GENERAL NOTES & TYPICAL DETAILS
	PROJECT TITLE
SEAL	GRANT COUNTY JUVENILE DETENTION CENTER BUILDING REPAIRS EPHRATA, WASHINGTON



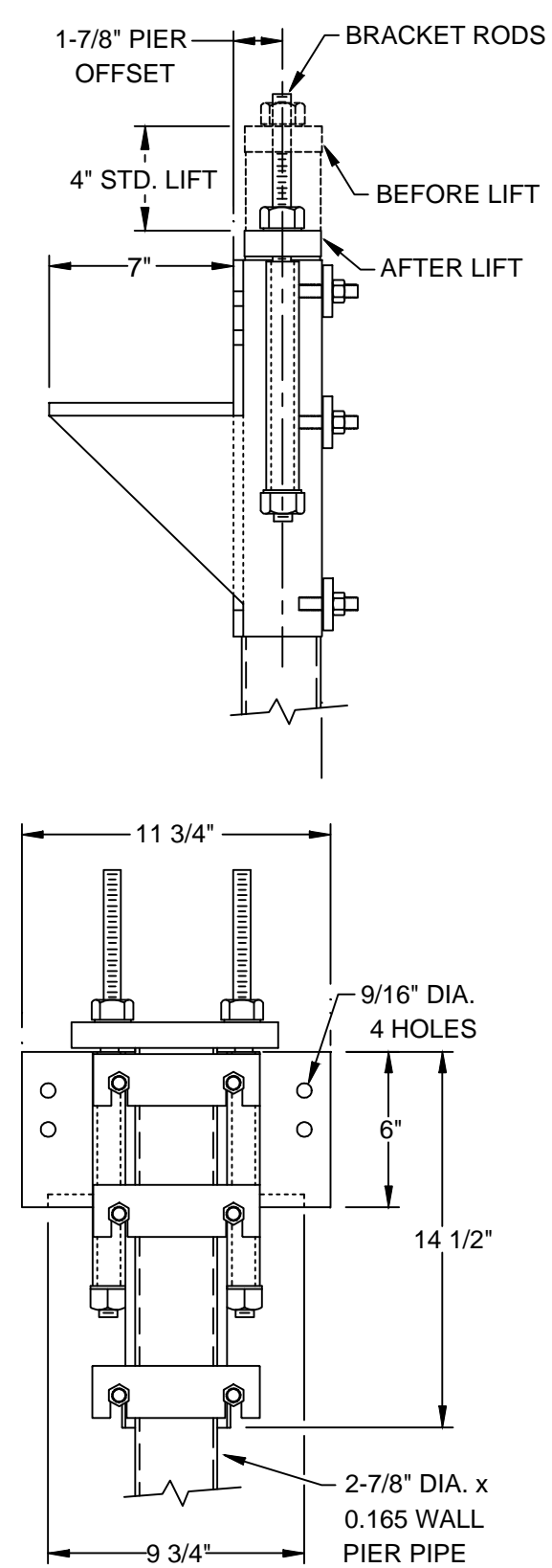
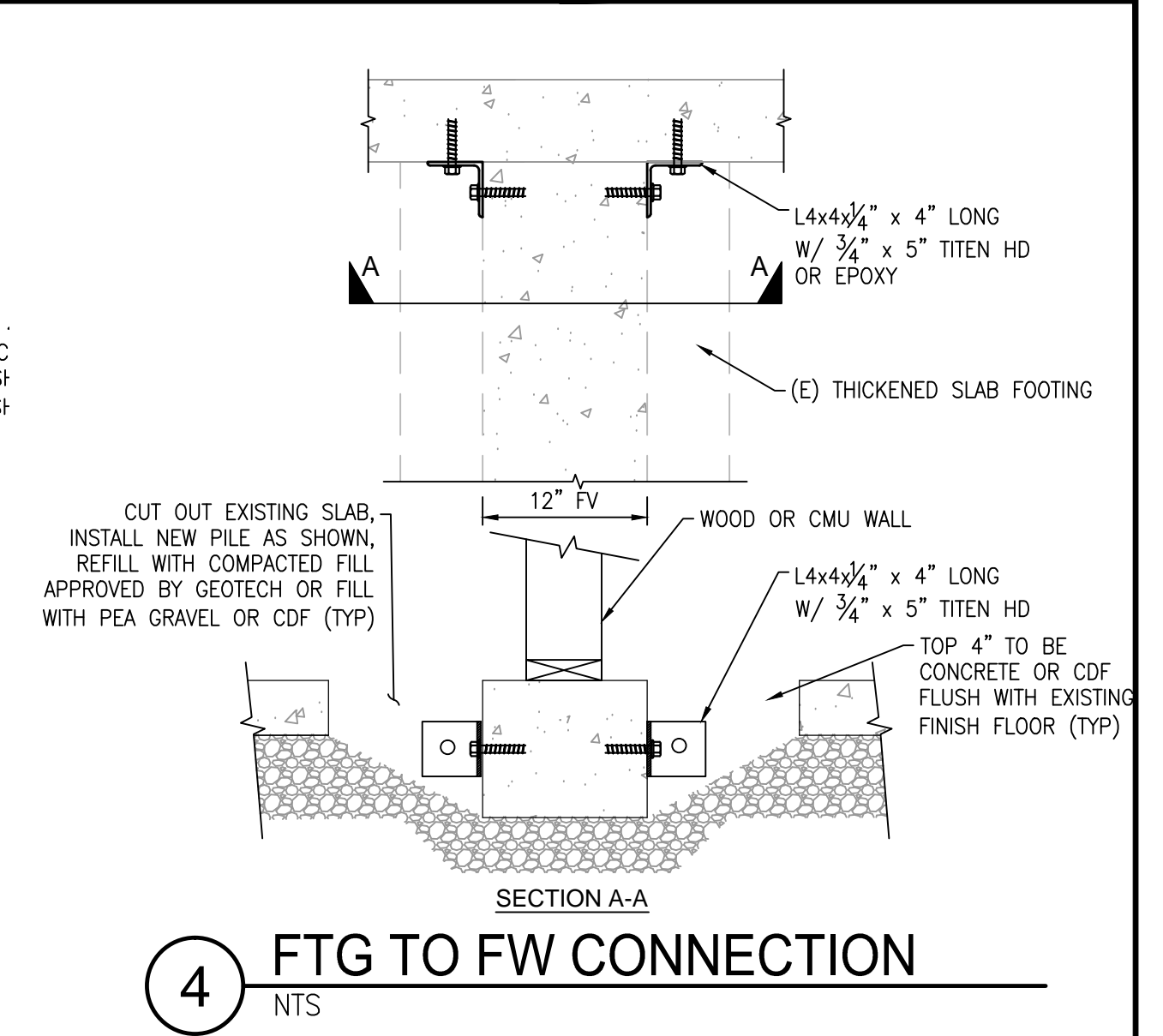
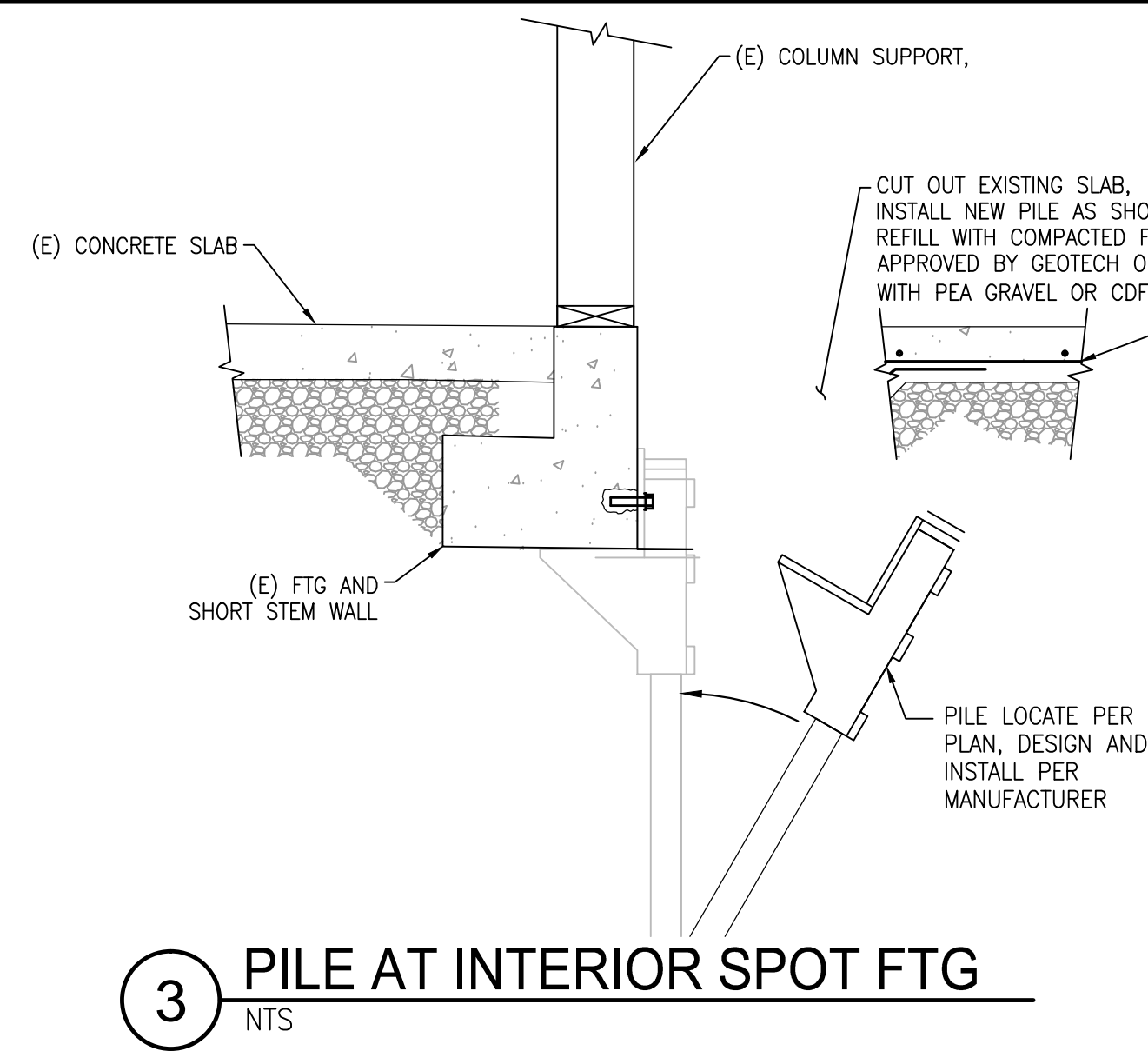
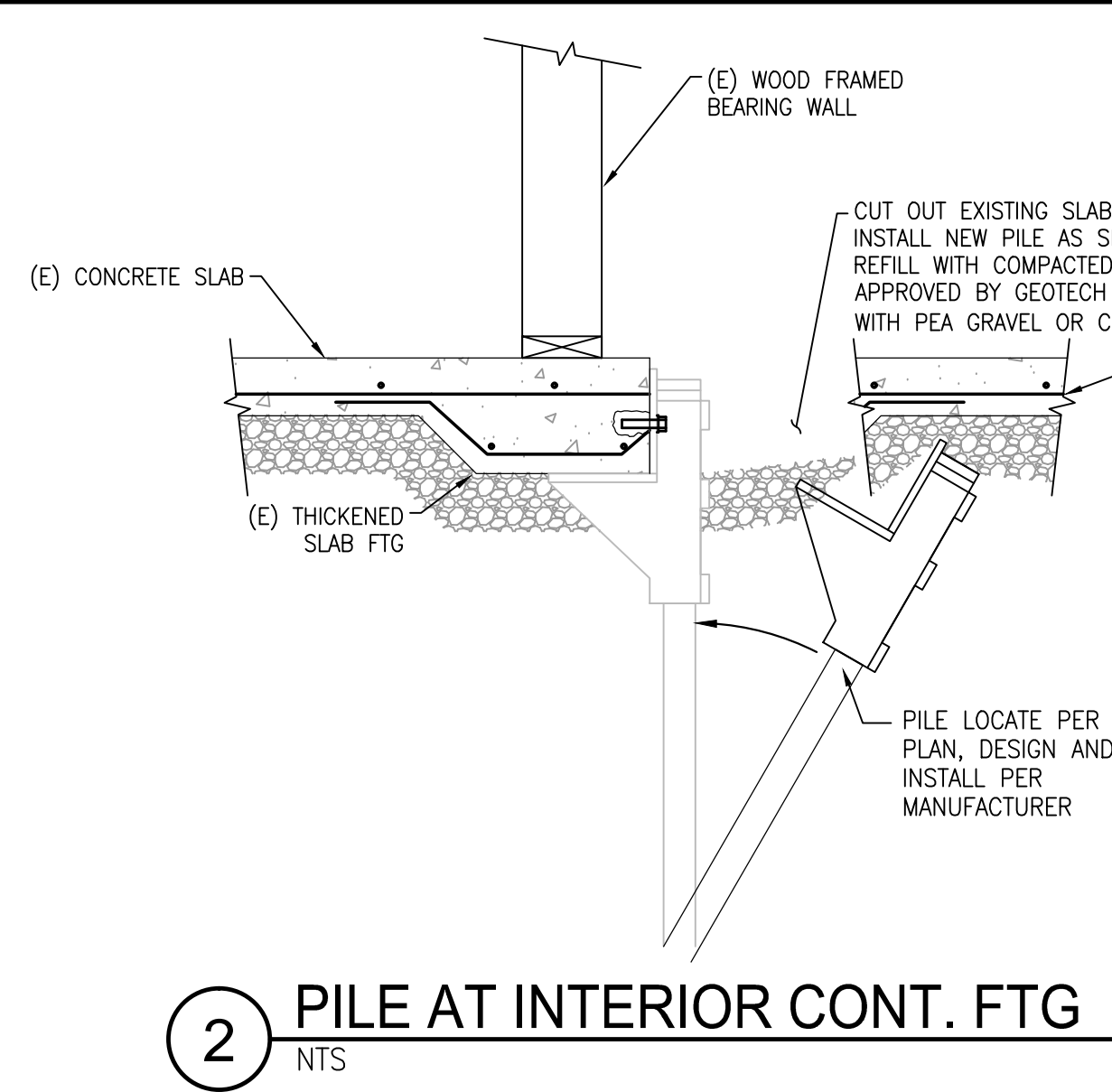
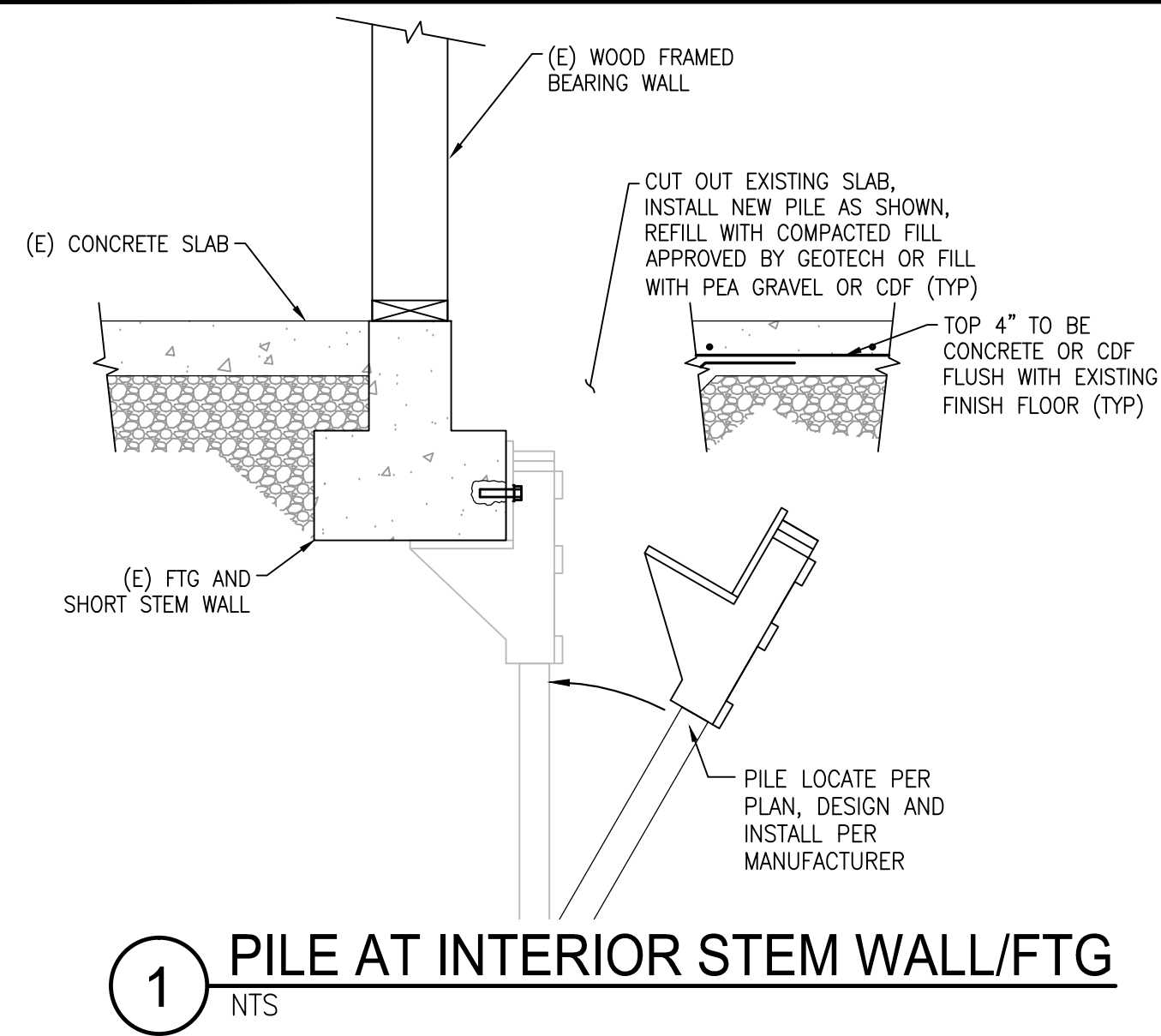
PROJECT NO.	1528
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CHECKED	TES
DATE	2/19/2016
DRAWING NO.	

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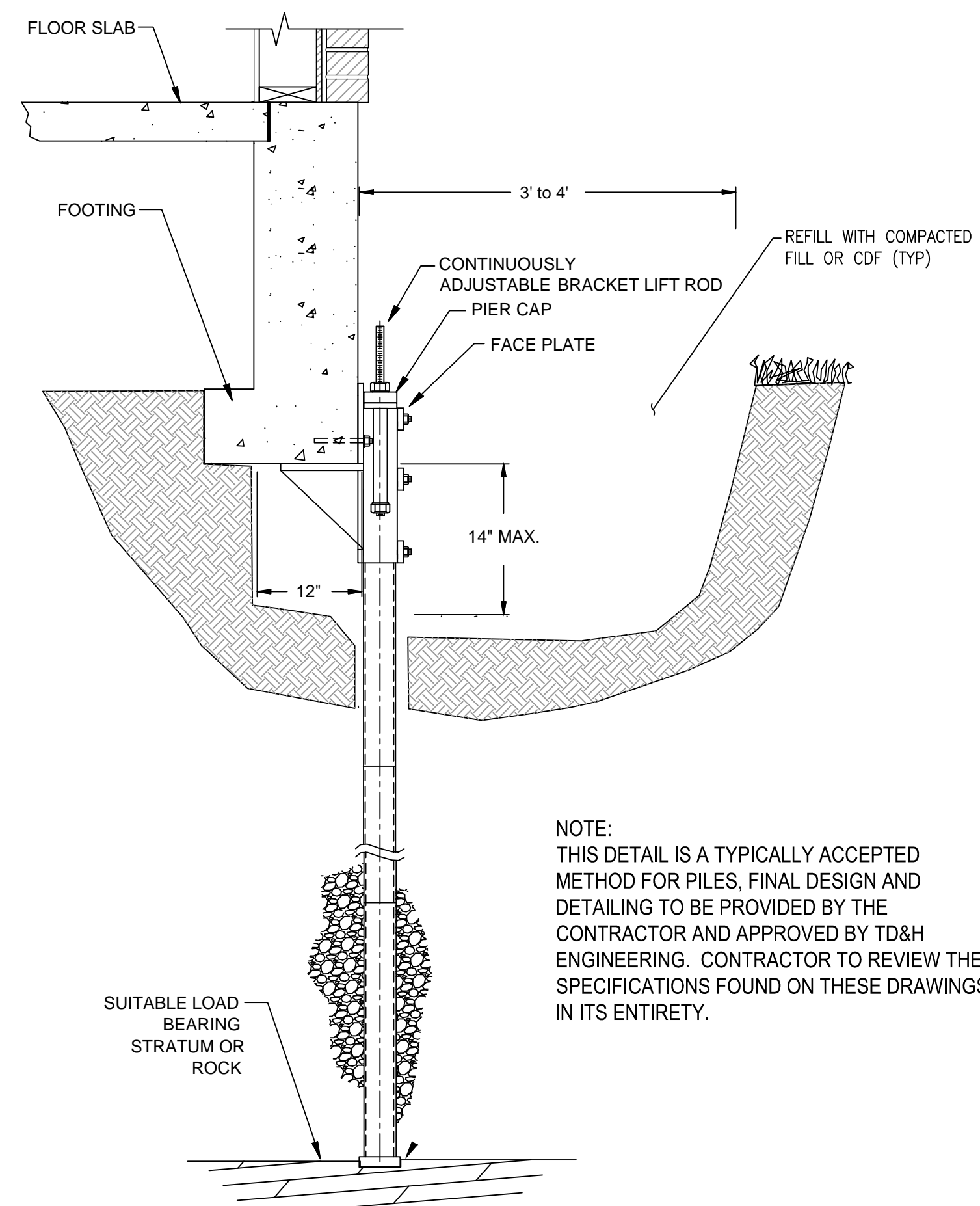








Utility Bracket Details



Utility Bracket Application Drawing

NOTE:  
THIS DETAIL IS A TYPICALLY ACCEPTED METHOD FOR PILES. FINAL DESIGN AND DETAILING TO BE PROVIDED BY THE CONTRACTOR AND APPROVED BY TD&H ENGINEERING. CONTRACTOR TO REVIEW THE SPECIFICATIONS FOUND ON THESE DRAWINGS IN ITS ENTIRETY.

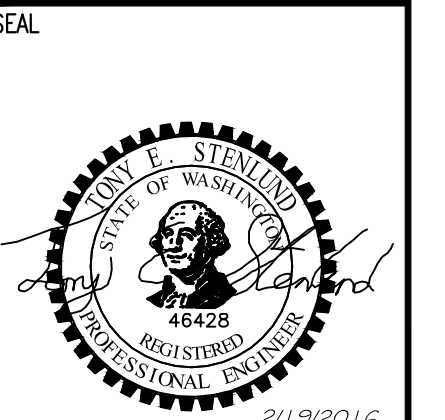


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No.	DATE	BY

**TD&H Engineering**  
GREAT FALLS-BOZEMAN-KALISPELL  
SPOKANE LEWISTON  
MONTANA WASHINGTON IDAHO  
tdhengineering.com

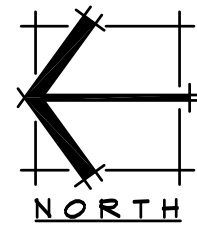
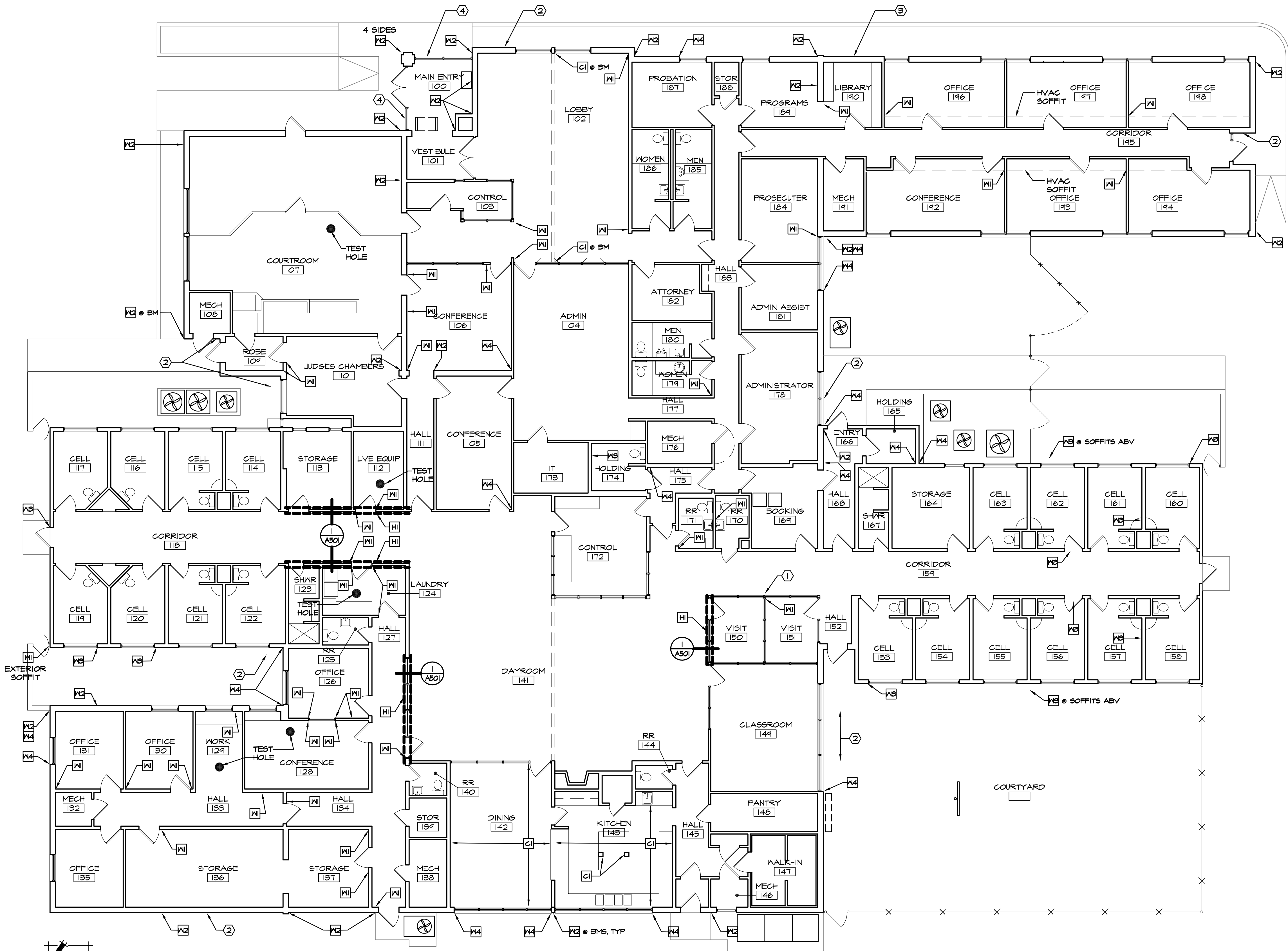
CONSTRUCTION DETAILS  
PROJECT TITLE  
**GRANT COUNTY JUVENILE DETENTION CENTER BUILDING REPAIRS**  
EPRHATA, WASHINGTON



PROJECT NO.	1528
DRAWN	GS
CHECKED	TES
DATE	2/19/2016
DRAWING NO.	

S5.0





1 FLOOR PLAN - WALL AND CEILING REPAIR PLAN  
SCALE: 1/8" = 1'-0"

## GENERAL NOTES

1. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO EXECUTION OF WORK.
2. SALVAGE TRIM AND BASE WHEREVER POSSIBLE AND REINSTALL TO PRE-EXISTING CONDITION. REFINISH AS NECESSARY TO MATCH PRE-EXISTING CONSTRUCTION.
3. NEW TRIM/BASE SHALL MATCH EXISTING.
4. PAINT ENTIRE WALLS WHEN SPOT MATCHING EXISTING WILL NOT PROVIDE CONSISTENT COLOR AND SHEEN.
5. WHERE ADJUSTMENTS FOR GAPS IN TRIM AND FRAMES IS UNATTAINABLE PROVIDE PAINTABLE SEALANT AND PAINT TO MATCH ADJACENT SURFACES.
6. SEE FINISH FLOOR PLANS FOR NEW FLOORING LOCATIONS.

## REPAIR TYPE SCHEDULE

- W1** WALL STAGE I - SCRIBE CRACKING TO REMOVE LOOSE AND SPALLING DEBRIS. APPLY JOINT COMPOUND AND POLYMESH OVER DAMAGED AREA AND FINISH SMOOTH. PRIME, PAINT AND TEXTURE REPAIRED AREA TO MATCH EXISTING FINISHES.
- W2** MORTAR REPAIR - GRIND AND REMOVE CRACKING MORTAR TO THE NEXT INTERSECTING JOINT BEYOND CRACK EXTENTS. REMOVE MINIMUM DBL DEPTH OF JOINT WIDTH BY FULL WIDTH. WET EXPOSED BRICK AND MORTAR BEFORE PATCHING. TUCK AND POINT WITH NEW TYPE 'N' MORTAR JOINTS TO MATCH EXISTING PROFILES. MATCH EXISTING MORTAR IN COLOR AND COMPOSITION. CHEMICALLY CLEAN NEW MORTAR PER MFG RECOMMENDATIONS.
- W3** EXTERIOR & INTERIOR FORM FACED CONC WALLS - ROUTER/GRIND CRACKING TO REMOVE LOOSE AND SPALLING DEBRIS (CRACKS LESS THAN 14 MILS CAN BE BRIDGED WITH 100% ACRYLIC PAINT). REPAIR CRACKED AREA USING EPOXY TYPE PASTE PER MFG. PRIME AND PAINT REPAIRED AREAS TO MATCH EXISTING FINISHES.
- W4** WALL SEPARATION - CLEAN AND REMOVE FAILING SEALANT/CAULKING. RECAULK JOINT TO BE SMOOTH WITH NO GAPS. PRIME, PAINT AND TEXTURE ANY REPAIRED GYP BD SURFACES TO MATCH EXISTING FINISHES. SEALANT/CAULKING AT MASONRY OR STUCCO SURFACES SHALL BE CLEAN AND CONSISTENT IN APPEARANCE, INSTALLED IN A WORKMANSHIP MANNER. VOID AREAS THAT CANNOT BE BRIDGED WITH SEALANT SHALL BE INFILLED WITH EXPANDING FOAM AND TRIMMED WITH 1/4 ROUND PAINTED TO MATCH WALL. EXTERIOR REPAIRS SHALL UTILIZE WEATHER RESISTANT SEALANT AND CREATE A WATERTIGHT SEAL.
- C1** CEILING TRIM - PROVIDE NEW 1/4 ROUND TRIM AT EXISTING CEILING INTERSECTIONS. SIZE TRIM TO CONCEAL GAPS. PROVIDE KERFED JOINTS AND MITERED CORNERS. PAINT TO MATCH CEILING.
- H1** HEADER SUPPORT I - INSTALL NEW FACE MOUNTED HEADER SUPPORT STRUCTURE AT WALL AS INDICATED. SEE H1 HEADER DETAILS AND STRUCTURAL DRAWINGS FOR DETAILED INFORMATION.

## KEYED NOTES

1. REMOVE, ALIGN AND REINSTALL WOOD TRIM, STOPS AND GLAZING.
2. REPAIR SEPARATING WOOD SOFFITS AND TRIM - CAULK AND PAINT TO MATCH EXISTING.
3. ALIGN AND RECAULK WOOD TRIM AT WINDOW HEAD/SOFFITS THIS FACADE.
4. REPAIR /REPLACE EXISTING ALUMINUM STOREFRONT SYSTEMS AS REQ'D - SEE EXTERIOR ELEVATIONS.

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2		
1		
No.	DATE	BY

SHEET TITLE  
FLOOR PLAN - WALL AND CEILING REPAIR PLAN

PROJECT TITLE  
GRANT COUNTY CENTER  
JUVENILE DETENTION CENTER  
BUILDING REPAIRS

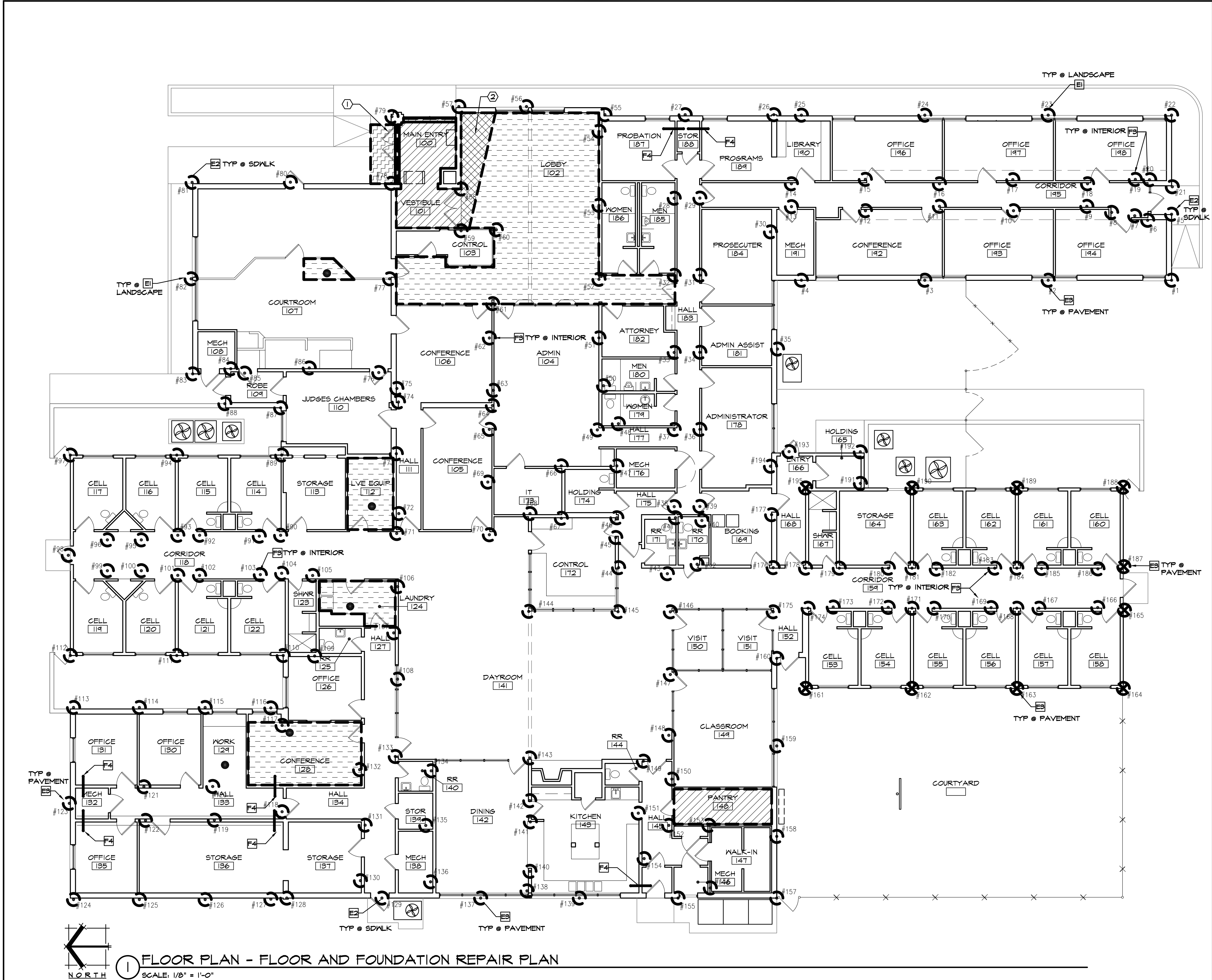
EPHRATA, WASHINGTON

6829 REGISTERED ARCHITECT  
William A. Spawka  
WILLIAM ARTHUR FROMME  
STATE OF WASHINGTON

PROJECT NO. 1528  
DRAWN TWS  
CHECKED MAF  
DATE 02/08/16  
DRAWING NO.

A101





### GENERAL NOTES

1. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO EXECUTION OF WORK.
2. SALVAGE TRIM AND BASE WHEREVER POSSIBLE AND REINSTALL TO PRE-EXISTING CONDITION. REFINISH AS NECESSARY TO MATCH PRE-EXISTING CONSTRUCTION.
3. NEW TRIM/BASE SHALL MATCH EXISTING.
4. PAINT ENTIRE WALLS WHEN SPOT MATCHING EXISTING WILL NOT PROVIDE CONSISTENT COLOR AND SHEEN.
5. WHERE ADJUSTMENTS FOR GAPS IN TRIM AND FRAMES IS UNATTAINABLE PROVIDE PAINTABLE SEALANT AND PAINT TO MATCH ADJACENT SURFACES.
6. SEE FINISH FLOOR PLANS FOR NEW FLOORING LOCATIONS.
7. SEE STRUCTURAL PLANS FOR DETAILED HELICAL AND BRACKET PLATE TYPES AND INSTALLATIONS.

### REPAIR TYPE LEGEND

F1	F2	X	HELICAL SEE SCHED FOR TYPE	F4	E1
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### REPAIR TYPE SCHEDULE

**F1 FLOOR STAGE 1 - REMOVE EXISTING FLOORING IN DAMAGED/CRACKING AREAS IN FULL UNITS (FIELD VERIFY). REPAIR AREAS INDICATED. GRIND AND STABILIZE CRACKING WITH SEAM SEALER/FILLER AND FINISH FLOAT TO BE FLUSH WITH ADJACENT SURFACES. INSTALL NEW FLOORING AT REPAIRED AREAS TO MATCH EXISTING FINISHES (SEE FINISH FLOOR PLAN).**

**F2 FLOOR STAGE 2 - REMOVE EXISTING FLOORING AS INDICATED. PREP EXISTING CONC SLAB FOR NEW FLOOR FINISHES. (SEE FINISH FLOOR PLAN FOR ADDITIONAL INFORMATION)**

**F3 FLOOR STAGE 3 - SAWCUT AND REMOVE EXISTING CONC SLAB AND EXCAVATE TO ACCESS FOUNDATIONS PER STRUCTURAL DESIGNS. AFTER COMPLETION OF STRUCTURAL UPGRADES FILL AND RECOMPACT AREA TO 95% AND MATCH EXISTING SUBBASE AND SOG PROFILES. POUR BACK CONC SLAB TO BE FLUSH WITH EXISTING FLOOR. INSTALL NEW FLOOR FINISH TO MATCH EXISTING (SEE F3 FLOOR SLAB DETAILS FOR ADDITIONAL INFORMATION)**

**F4 FLOOR STAGE 4 - SAWCUT AND REMOVE EXISTING CONC SLAB AND EXCAVATE TO ACCESS FOUNDATIONS PER STRUCTURAL DESIGNS. AFTER COMPLETION OF STRUCTURAL UPGRADES FILL AND RECOMPACT AREA TO 95% AND MATCH EXISTING SUBBASE AND SOG PROFILES. POUR BACK CONC SLAB TO BE FLUSH WITH EXISTING FLOOR. INSTALL NEW FLOOR FINISH TO MATCH EXISTING (SEE F4 FLOOR SLAB DETAILS FOR ADDITIONAL INFORMATION)**

**E1 EXTERIOR EXCAVATION 1 - EXCAVATE AND EXPOSE FOUNDATIONS AS REQUIRED TO INSTALL STRUCTURAL REPAIRS. PROTECT AND MAINTAIN EXISTING LANDSCAPE PLANTINGS TO ON-SITE TEMPORARY LOCATION AS DIRECTED BY OWNER. MAINTAIN AND PROTECT UTILITIES INCLUDING IRRIGATION SYSTEMS. REPLACE AND COMPACT SOILS AFTER STRUCTURAL REPAIRS ARE COMPLETE AND REINSTALL ALL LANDSCAPING TO PRE-EXISTING CONDITIONS - INCLUDING PLANTINGS AND ROCK MULCH. REPLACE LANDSCAPE PLANTINGS THAT ARE DEEMED UNSUITABLE OR HAVE EXPIRED WITH LIKE SPECIMENS (SEE E1 EXTERIOR EXCAVATION DETAIL FOR ADDITIONAL INFORMATION)**

**E2 EXTERIOR EXCAVATION 2 - SAWCUT AND REMOVE EXISTING EXTERIOR CONC WALKS AND INTERIOR CONC SLAB. EXCAVATE AND EXPOSE FOUNDATIONS AS REQUIRED TO INSTALL STRUCTURAL REPAIRS. REINSTALL ALL CONC FLATWORK TO PRE-EXISTING CONDITIONS (SEE STRUCTURAL DRAWINGS)**

**E3 EXTERIOR EXCAVATION 3 - SAWCUT AND REMOVE EXISTING ASPHALT AND BASE TO EXPOSE FOUNDATIONS AS REQUIRED TO INSTALL STRUCTURAL REPAIRS. FILL AND COMPACT REPAIR AREA WITH GDF (FUTURE ASPHALT PAVEMENT RESURFACING UNDER SEPARATE CONTRACTS)**

### KEYED NOTES

① REMOVE WALK THIS AREA, REPLACE AND ADJUST TO MATCH NEW MAIN ENTRY FLOOR

② TRANSITION AREA AS REQUIRED FOR SMOOTH TRANSITION TO EXISTING LOBBY FLOOR

**ZBA ARCHITECTURE**  
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SPOKANE, WA 99201  
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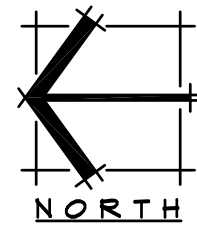
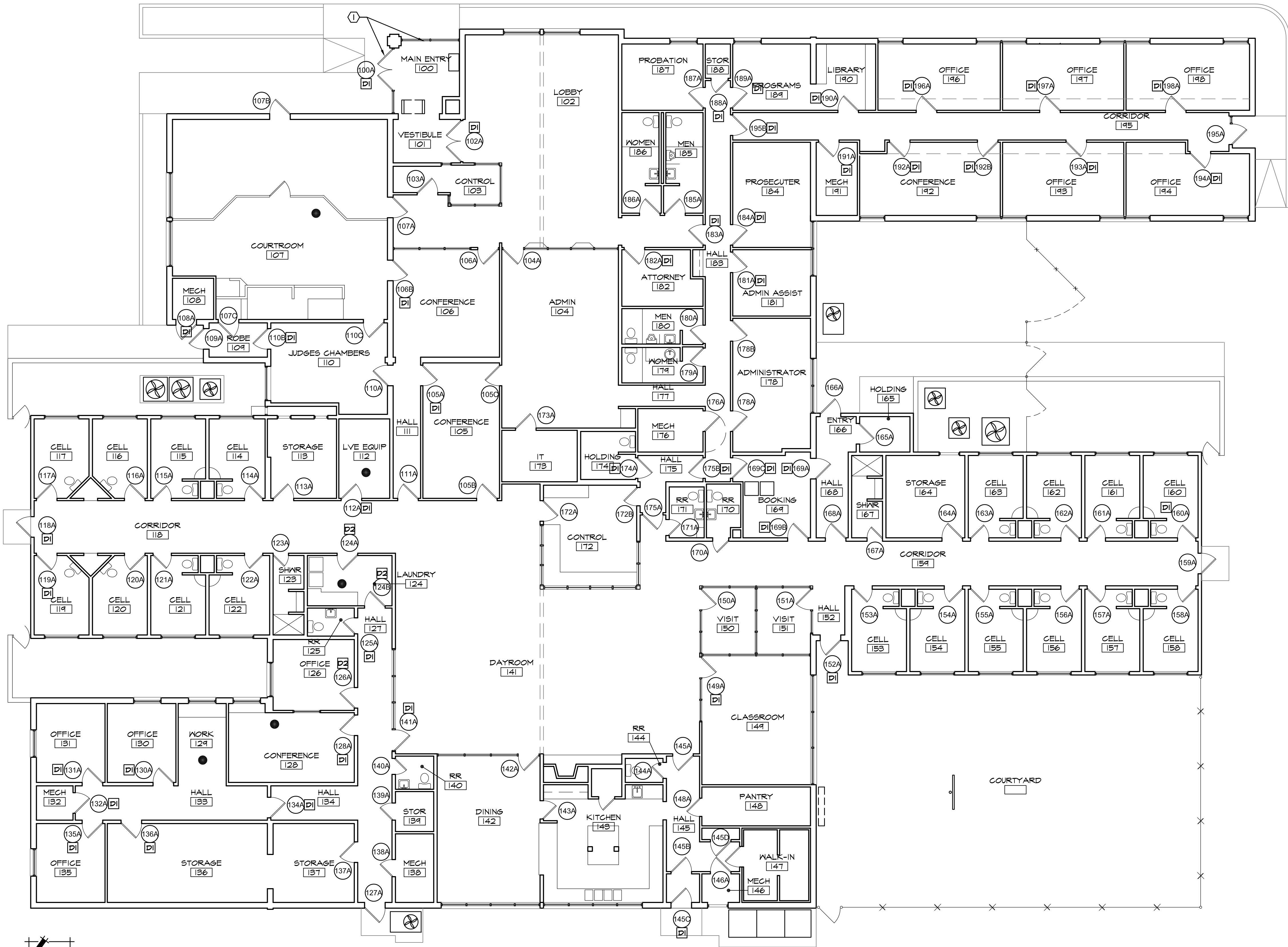
SHEET TITLE  
FLOOR PLAN - FLOOR AND FOUNDATION REPAIR PLAN

PROJECT TITLE  
GRANT COUNTY JUVENILE DETENTION CENTER BUILDING REPAIRS  
EPRHATA, WASHINGTON

6829 REGISTERED ARCHITECT  
*William Arthur Froemke*  
WILLIAM ARTHUR FROEMKE  
STATE OF WASHINGTON

PROJECT NO.	1528
DRAWN	TWS
CHECKED	MAF
DATE	02/08/16
DRAWING NO.	A102





1 FLOOR PLAN - DOOR REPAIR AND REPLACEMENT PLAN  
SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. REFERENCE DOOR SCHEDULE FOR DOOR TYPES AND FRAMES.
2. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO EXECUTION OF WORK.
3. SALVAGED ITEMS TO BE REINSTALLED SHALL BE REFINISHED AS NECESSARY TO MATCH PRE-EXISTING CONSTRUCTION.
4. NEW TRIM/BASE SHALL MATCH EXISTING.
5. PAINT ENTIRE WALLS WHEN SPOT MATCHING EXISTING WILL NOT PROVIDE CONSISTENT COLOR AND SHEEN.
6. WHERE ADJUSTMENTS FOR GAPS IN TRIM AND FRAMES IS UNATTAINABLE, PROVIDE PAINTABLE SEALANT AND PAINT TO MATCH ADJACENT SURFACES.

REPAIR TYPE LEGEND

- D1 DOOR & FRAME ALIGNMENT/ADJUSTMENT - REMOVE EXISTING DOOR AND HARDWARE. REMOVE AND SALVAGE EXISTING CASINGS WHERE NECESSARY. PROTECT EXISTING BASE FROM DAMAGE

REALIGN/SHIM EXISTING HEAD & JAMBS TO BE LEVEL AND PLUMB. REINSTALL EXISTING DOOR & HINGES (AND TRIM). ADJUST HARDWARE FOR SMOOTH OPERATION. PROVIDE TOUCH-UP AT WALLS TO MATCH EXISTING FINISHES AS NECESSARY

- D2 DOOR & FRAME REPLACEMENT - DEMO EXISTING DOOR, FRAME. SALVAGE HARDWARE FOR REUSE. REMOVE AND SALVAGE EXISTING CASINGS WHERE NECESSARY. PROTECT EXISTING BASE FROM DAMAGE.

REPAIR AND REALIGN EXISTING HEAD AND JAMBS TO BE LEVEL AND PLUMB. INSTALL NEW DOOR AND FRAME. REINSTALL EXISTING HARDWARE AND ADJUST FOR SMOOTH OPERATION. REINSTALL EXISTING CASING. PROVIDE TOUCH-UP AT WALLS TO MATCH EXISTING FINISHES AS NECESSARY

KEYED NOTES

- 1 EXISTING ALUMINUM STOREFRONT SYSTEMS TO BE ASSESSED. REMOVE EXISTING ALUMINUM STOREFRONTS FOR FOUNDATION REPAIRS. REINSTALL OR REPLACE ALUMINUM STOREFRONT AS DETERMINED IN THE FIELD (SEE DOOR SCHEDULE)



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SHEET TITLE  
FLOOR PLAN - DOOR REPAIR AND REPLACEMENT PLAN

PROJECT TITLE  
GRANT COUNTY JUVENILE DETENTION CENTER BUILDING REPAIRS

EPHRATA, WASHINGTON

SEAL



PROJECT NO. 1528

DRAWN TWS

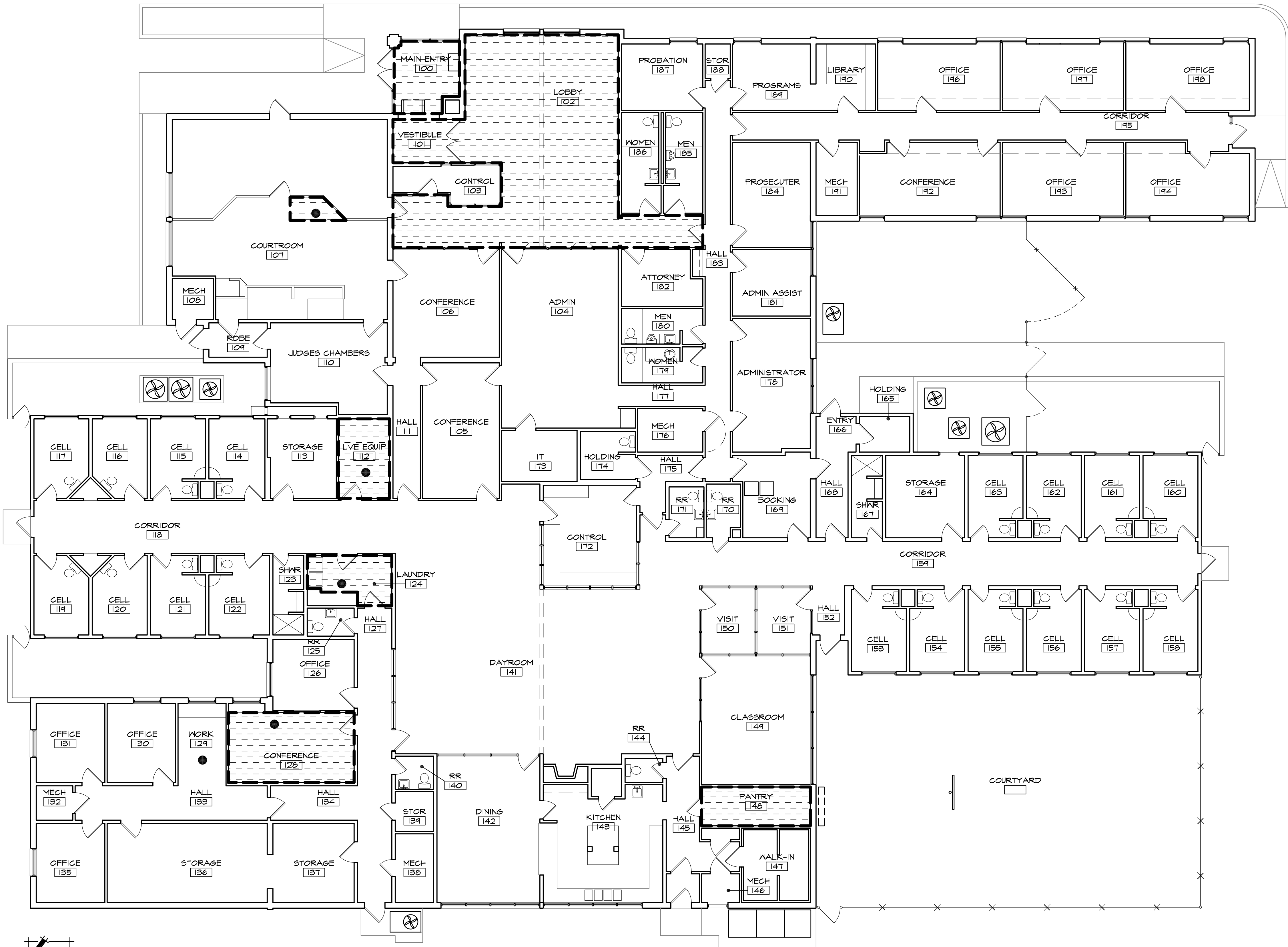
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DATE 02/08/16

DRAWING NO.

A103





**FLOOR FINISH PLAN**  
SCALE: 1/8" = 1'-0"

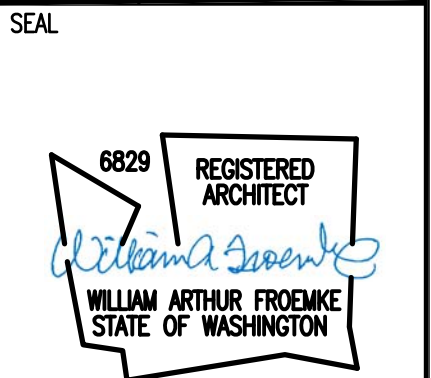
### GENERAL NOTES

1. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO EXECUTION OF WORK.
2. SALVAGE TRIM AND BASE WHEREVER POSSIBLE AND REINSTALL TO PRE-EXISTING CONDITION. REFINISH AS NECESSARY TO MATCH PRE-EXISTING CONSTRUCTION.
3. NEW TRIM/BASE SHALL MATCH EXISTING
4. PAINT ENTIRE WALLS WHEN SPOT MATCHING EXISTING WILL NOT PROVIDE CONSISTENT COLOR AND SHEEN.
5. WHERE ADJUSTMENTS FOR GAPS IN TRIM AND FRAMES IS UNATTAINABLE PROVIDE PAINTABLE SEALANT AND PAINT TO MATCH ADJACENT SURFACES.
6. FLOORING REPAIR AND REPLACEMENT SHALL MATCH EXISTING TO THE BEST POSSIBLE PRACTICAL MATERIALS AVAILABLE. LOCATIONS TO BE DETERMINED IN THE FIELD.
7. PROVIDE FLOORING SAMPLES FOR APPROVAL BY OWNER PRIOR TO ORDERING.
8. HAZARDOUS MATERIALS ARE NOT ANTICIPATED TO BE ENCOUNTERED DURING DEMOLITION OF EXISTING BUILDINGS. A 'GOOD FAITH' SURVEY HAS BEEN INCLUDED IN THE STATEMENT OF WORK. IF SUSPECT HAZARDOUS MATERIALS ARE ENCOUNTERED, CONTRACTOR SHALL STOP WORK IN THE AFFECTED AREA AND NOTIFY THE ARCHITECT. THE OWNER WILL BE RESPONSIBLE FOR SAMPLING, TESTING, AND REMOVAL OR ENCAPSULATION OF ANY HAZARDOUS MATERIAL. REMEDIATION WILL BE CONFINED TO WORK AREAS ONLY. OWNERS REMEDIATION DELAYS THAT STOP GENERAL CONSTRUCTION SHALL REQUIRE CONTRACT SUBSTANTIAL MODIFICATIONS AND EXTEND CONTRACT SUBSTANTIAL COMPLETION DATES ACCORDINGLY.
9. DUE TO THE NATURE OF REPAIR / PATCHING AND THE SCOPE OF WORK, NOT ALL AREAS OF REPAIR ARE SHOWN. PRE-DETERMINED AREAS THAT ARE CONFINED BY WALLS ARE INDICATED, BUT THE EXTENT OF REPAIR AND/OR REPLACEMENT SHALL BE DETERMINED IN THE FIELD AND APPROVED BY THE OWNER PRIOR TO DEMOLITION.
10. SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION



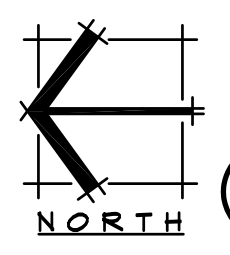
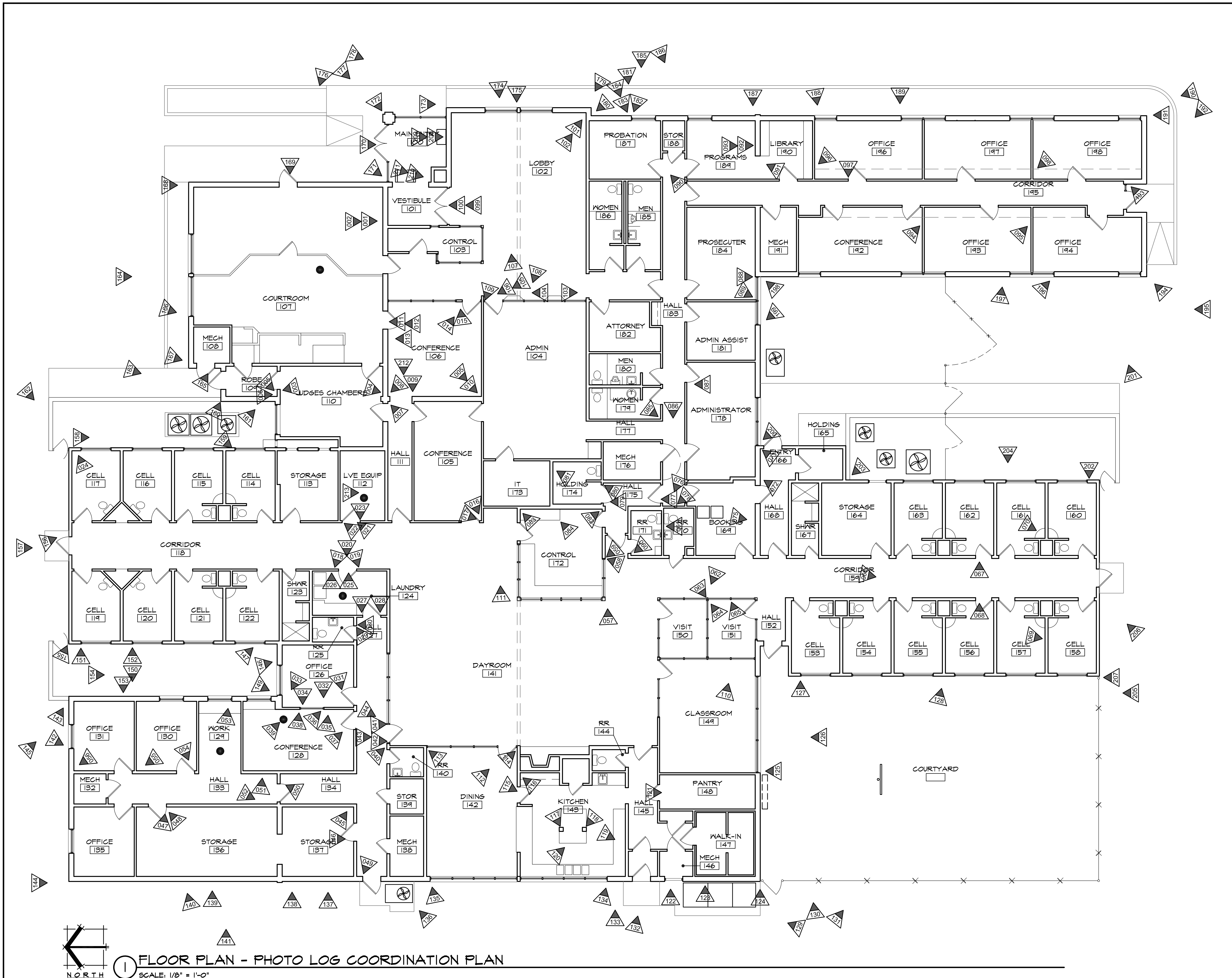
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FLOOR FINISH PLAN  
PROJECT TITLE  
**GRANT COUNTY CENTER  
JUVENILE DETENTION CENTER  
BUILDING REPAIRS**  
EPHRATA, WASHINGTON



PROJECT NO. 1528  
DRAWN TWS  
CHECKED MAF  
DATE 02/08/16  
DRAWING NO.

**A104**



**FLOOR PLAN - PHOTO LOG COORDINATION PLAN**  
SCALE: 1/8" = 1'-0"

**GENERAL NOTES**

- 1. SEE ATTACHMENT A FOR COORDINATED PHOTO LOG.

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FLOOR PLAN - PHOTO LOG COORDINATION PLAN

PROJECT TITLE  
**GRANT COUNTY JUVENILE DETENTION CENTER BUILDING REPAIRS**  
EPRHATA, WASHINGTON

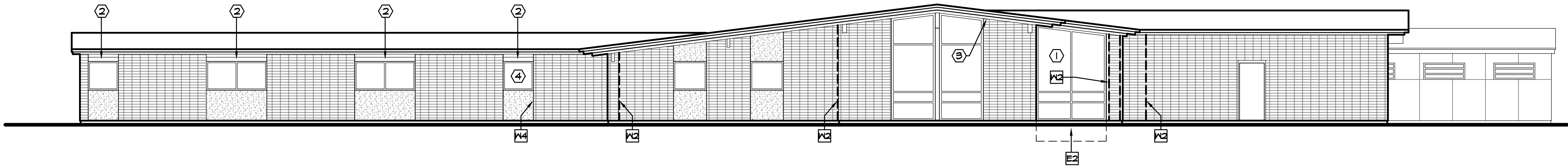
SEAL

6829 REGISTERED ARCHITECT  
*William A. Froemke*  
WILLIAM ARTHUR FROEMKE  
STATE OF WASHINGTON

PROJECT NO.	1528
DRAWN	TWS
CHECKED	MAF
DATE	02/08/16
DRAWING NO.	

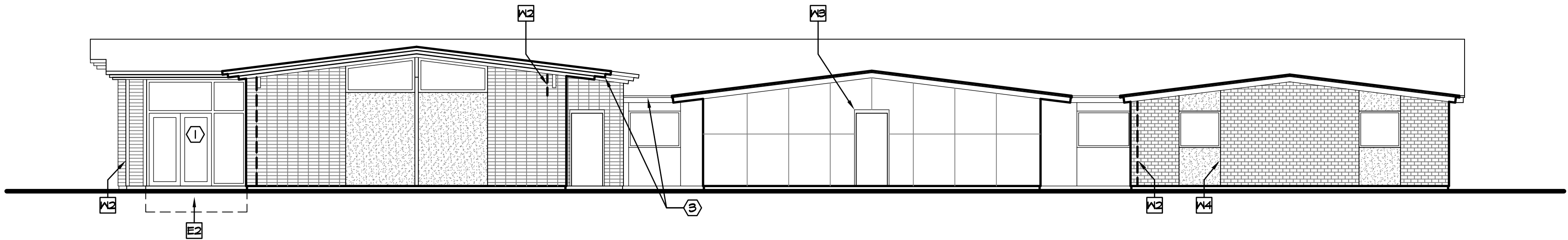
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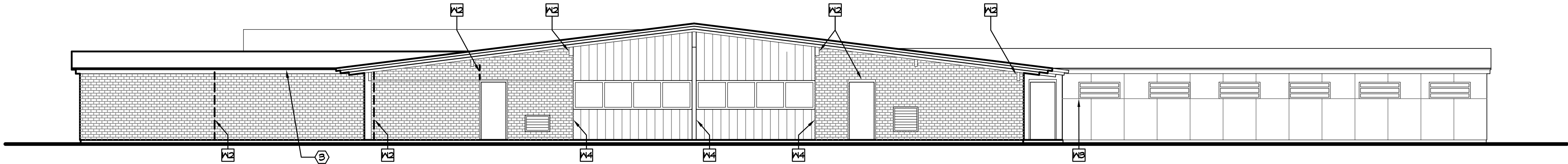
1 EAST ELEVATION

SCALE: 1/8" = 1'-0"



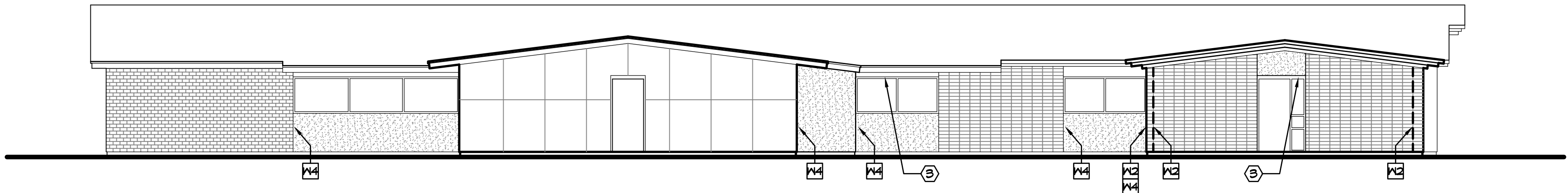
2 NORTH ELEVATION

SCALE: 1/8" = 1'-0"



3 WEST ELEVATION

SCALE: 1/8" = 1'-0"



4 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

### GENERAL NOTES

1. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO EXECUTION OF WORK.
2. SALVAGE TRIM AND BASE WHEREVER POSSIBLE AND REINSTALL TO PRE-EXISTING CONDITION. REFINISH AS NECESSARY TO MATCH PRE-EXISTING CONSTRUCTION.
3. NEW TRIM/BASE SHALL MATCH EXISTING.
4. PAINT ENTIRE WALLS WHEN SPOT MATCHING EXISTING WILL NOT PROVIDE CONSISTENT COLOR AND SHEEN.
5. WHERE ADJUSTMENTS FOR GAPS IN TRIM AND FRAMES IS UNATTAINABLE PROVIDE PAINTABLE SEALANT AND PAINT TO MATCH ADJACENT SURFACES.
6. VERIFY ALL CONDITIONS IN THE FIELD.
7. SEE FLOOR PLANS FOR ADDITIONAL INFORMATION.
8. SEE STRUCTURAL PLANS FOR DETAILED HELICAL AND BRACKET PLATE INSTALLATIONS.

### REPAIR TYPE SCHEDULE

- M2** MORTAR REPAIR - GRIND AND REMOVE CRACKING MORTAR TO THE NEXT INTERSECTING JOINT BEYOND CRACK EXTENTS. REMOVE MINIMUM DBL. DEPTH OF JOINT WIDTH BY FULL WIDTH. NET EXPOSED BRICK AND MORTAR BEFORE PATCHING. TUCK AND POINT WITH NEW TYPE 'N' MORTAR JOINTS TO MATCH EXISTING PROFILES. MATCH EXISTING MORTAR IN COLOR AND COMPOSITION. CHEMICALLY CLEAN NEW MORTAR PER MFG RECOMMENDATIONS
- M3** EXTERIOR & INTERIOR FORM FACED CONG WALLS - ROUTER/GRIND CRACKING TO REMOVE LOOSE AND SPALLING DEBRIS (CRACKS LESS THAN 1/4 MILS CAN BE BRIDGED WITH 100% ACRYLIC PAINT). REPAIR CRACK USING EPOXY TYPE PASTE PER MFG. PRIME AND PAINT REPAIRED AREAS TO MATCH EXISTING FINISHES
- M4** WALL SEPARATION - CLEAN AND REMOVE FAILING SEALANT/CAULKING. RECAULK JOINT TO BE SMOOTH WITH NO GAPS. PRIME, PAINT AND TEXTURE ANY REPAIRED GYP BD SURFACES TO MATCH EXISTING FINISHES. SEALANT/CAULKING AT MASONRY OR STUCCO SURFACES SHALL BE CLEAN AND CONSISTENT IN APPEARANCE. INSTALLED IN A WORKMANSHIP MANNER. VOID AREAS THAT CANNOT BE BRIDGED WITH SEALANT SHALL BE FILLED WITH EXPANDING FOAM THEN REPAIRED AS DESCRIBED. EXTERIOR REPAIRS SHALL UTILIZE WEATHER RESISTANT SEALANT AND CREATE A WATERTIGHT SEAL
- E2** EXTERIOR EXCAVATION 2 - SAWCUT AND REMOVE EXISTING EXTERIOR CONG WALKS AND INTERIOR CONG SLAB. EXCAVATE AND EXPOSE FOUNDATIONS AS REQUIRED TO INSTALL STRUCTURAL REPAIRS. REPLACE AND COMPACT SOILS PER STRUCT AND REINSTALL ALL CONG FLATWORK TO PRE-EXISTING CONDITIONS (SEE STRUCTURAL DRAWINGS)

### KEYED NOTES

- 1 EXISTING ALUMINUM STOREFRONT SYSTEMS TO BE ASSESSED. REMOVE EXISTING ALUMINUM STOREFRONT FOR FOUNDATION REPAIRS. REINSTALL OR REPLACE ALUMINUM STOREFRONT AS DETERMINED IN THE FIELD (SEE DOOR SCHEDULE)
- 2 REMOVE FAILING CAULKING AT WINDOW AND SOFFITS AND RECAULK
- 3 REPAIR SEPARATING SOFFIT TRIM
- 4 REPAIR ALUMINUM STOREFRONT WINDOW

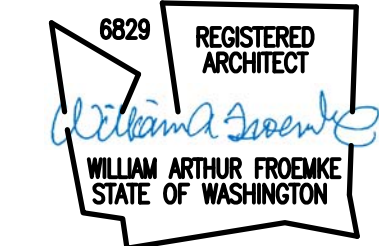
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SHEET TITLE AS-BUILT EXTERIOR ELEVATIONS

PROJECT TITLE GRANT COUNTY JUVENILE DETENTION CENTER BUILDING REPAIRS

EPHRATA, WASHINGTON

SEAL



PROJECT NO. 1528

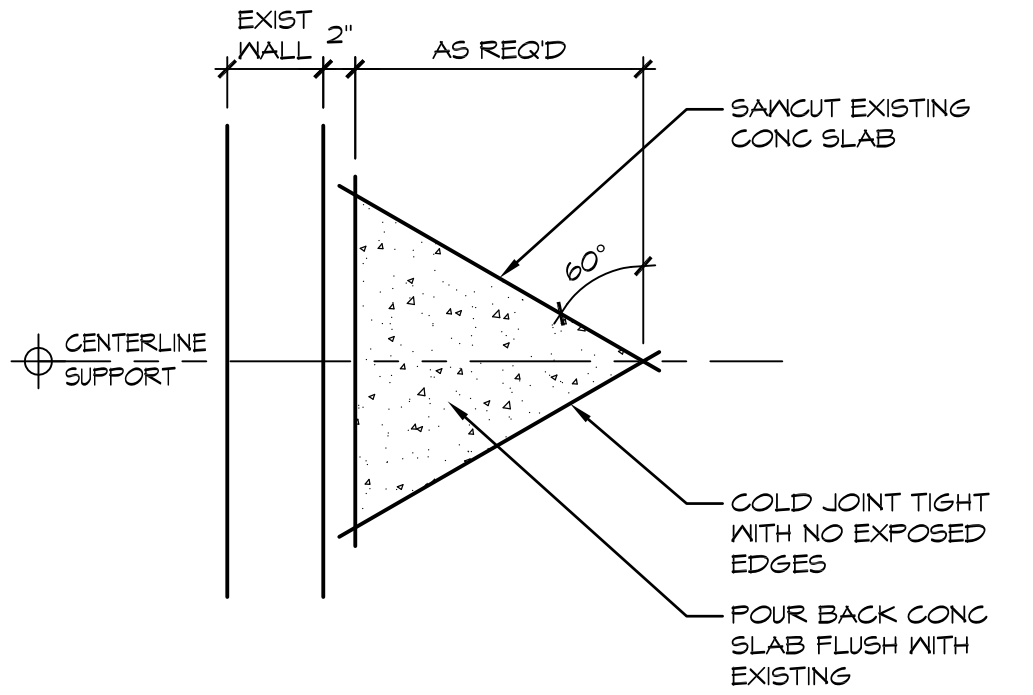
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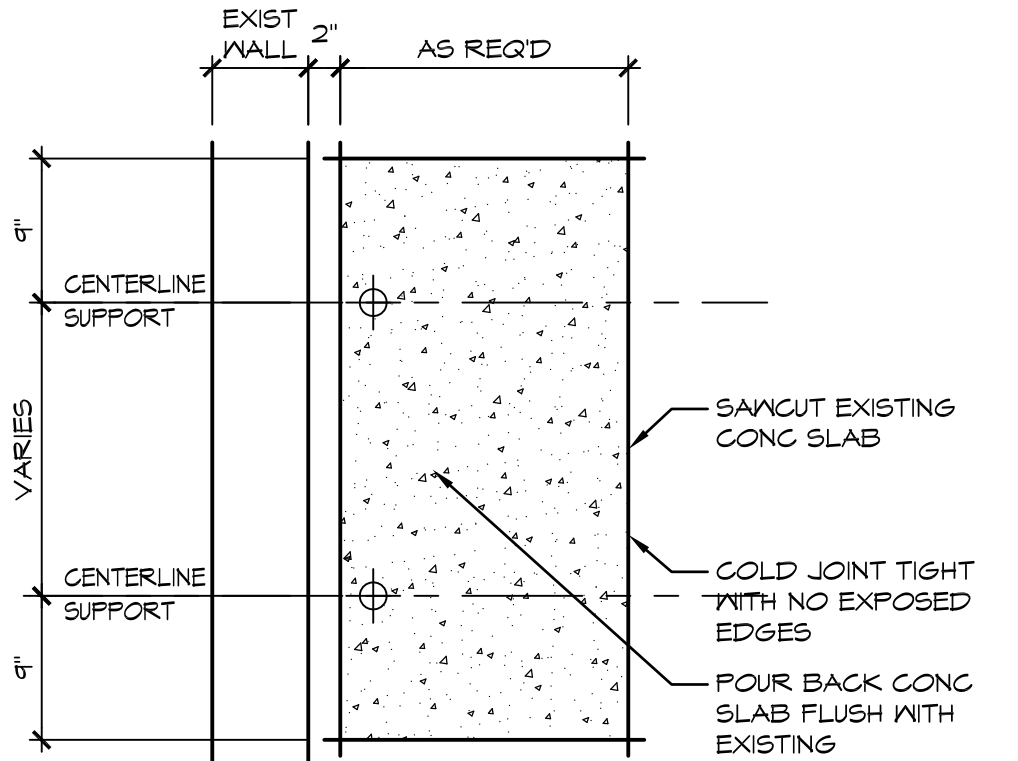
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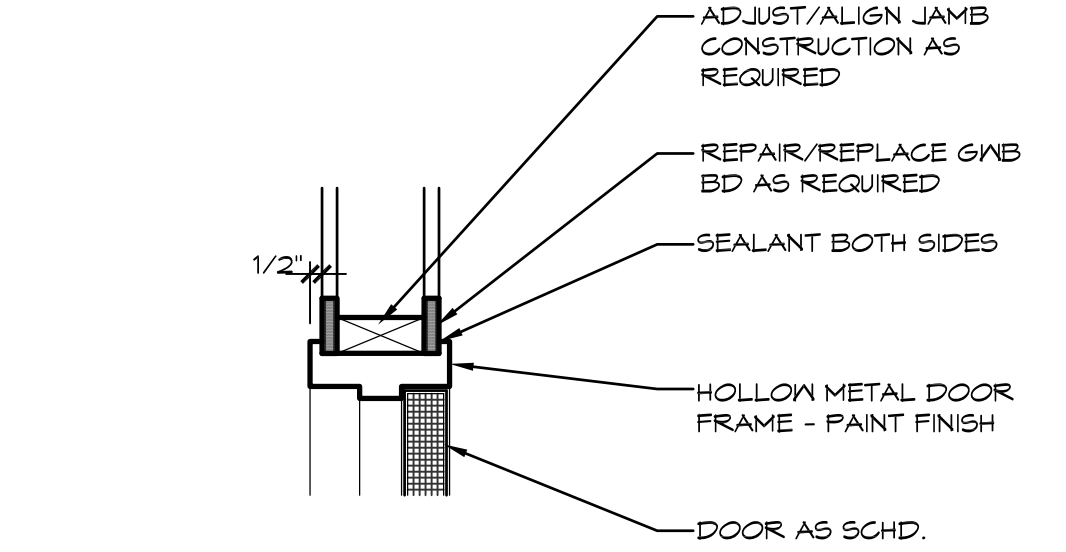
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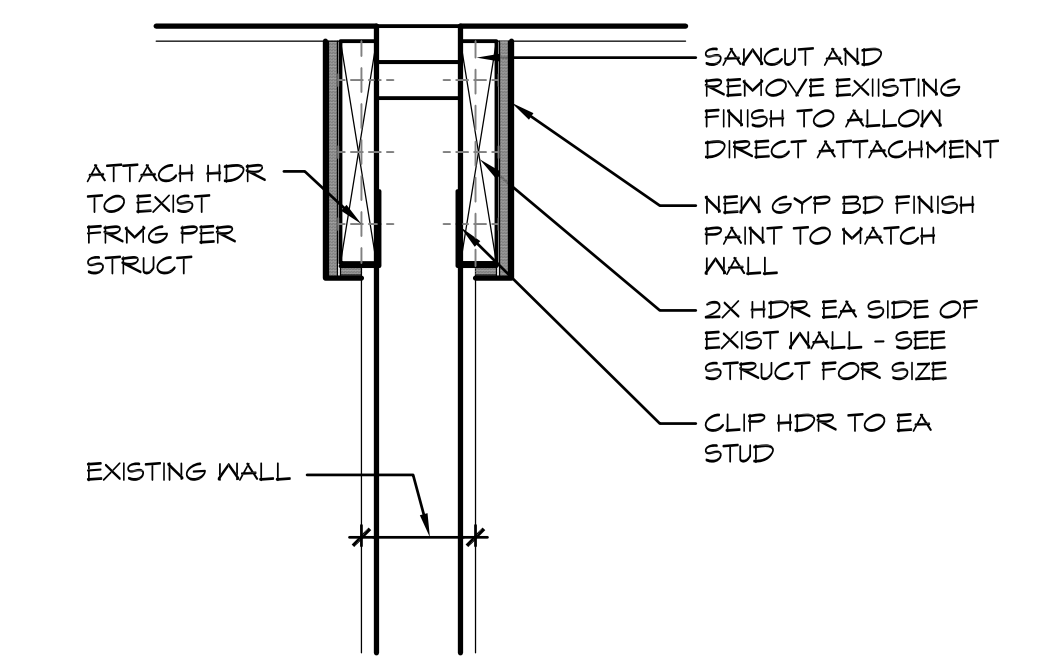
9 F3 INTERIOR FOUND. ACCESS  
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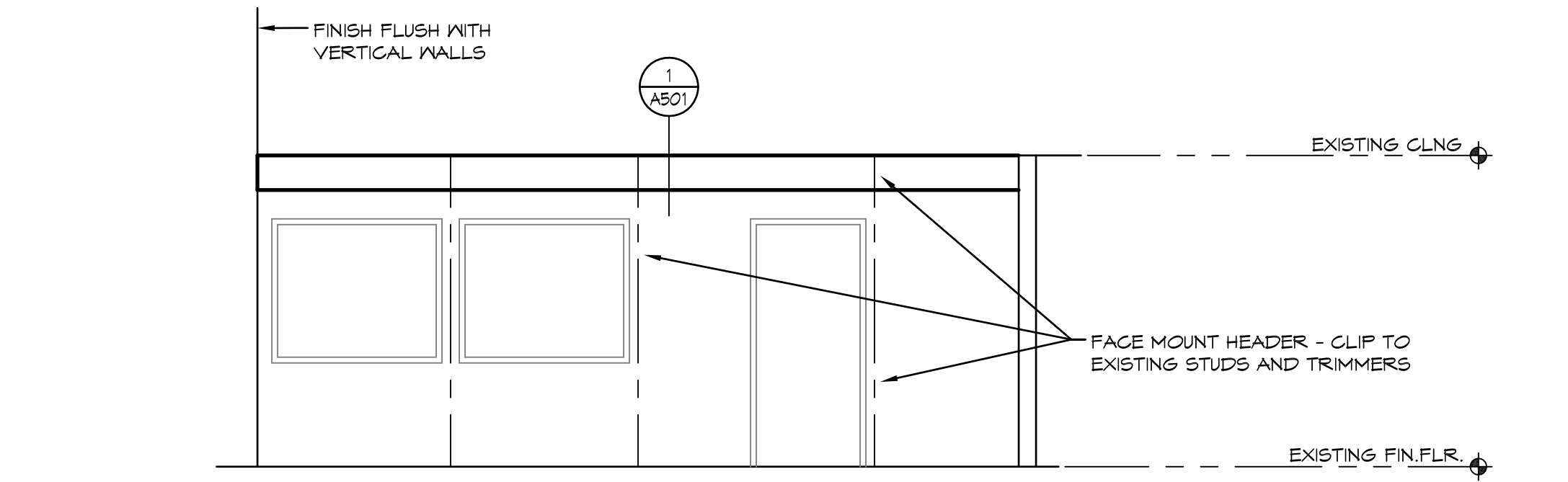
10 F3 OPTIONAL INTERIOR FOUND. ACCESS @ MULTIPLES  
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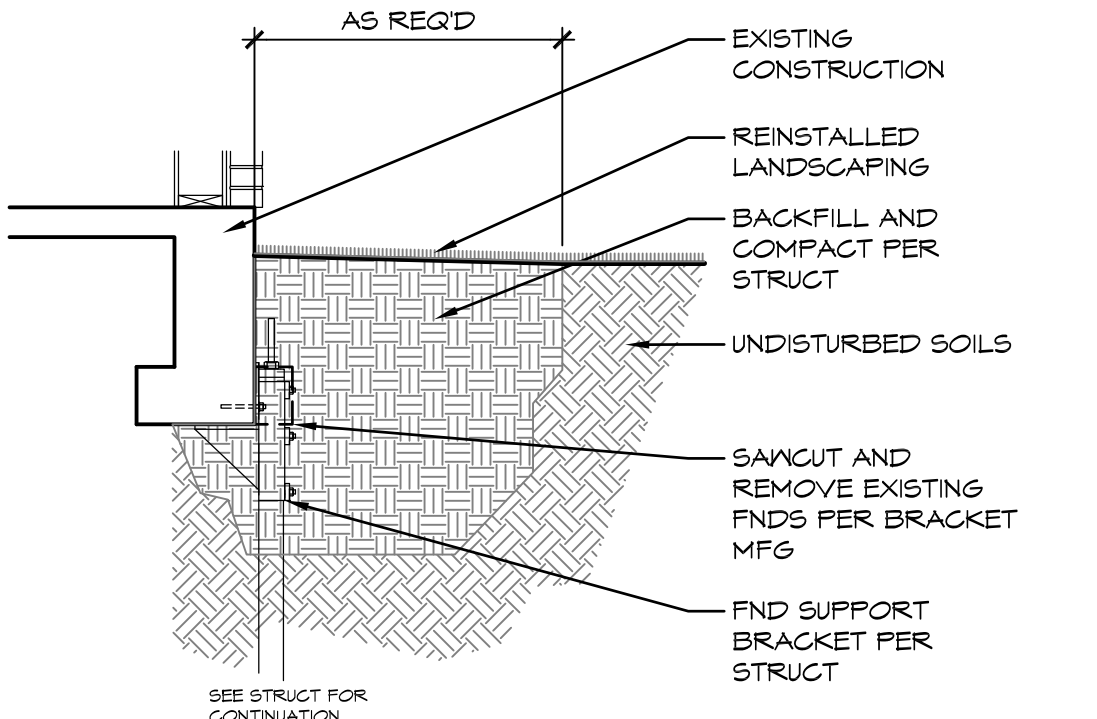
5 HOLLOW METAL JAMB (HEAD SIM)  
SCALE: 1-1/2"=1'-0" 1528-DR001



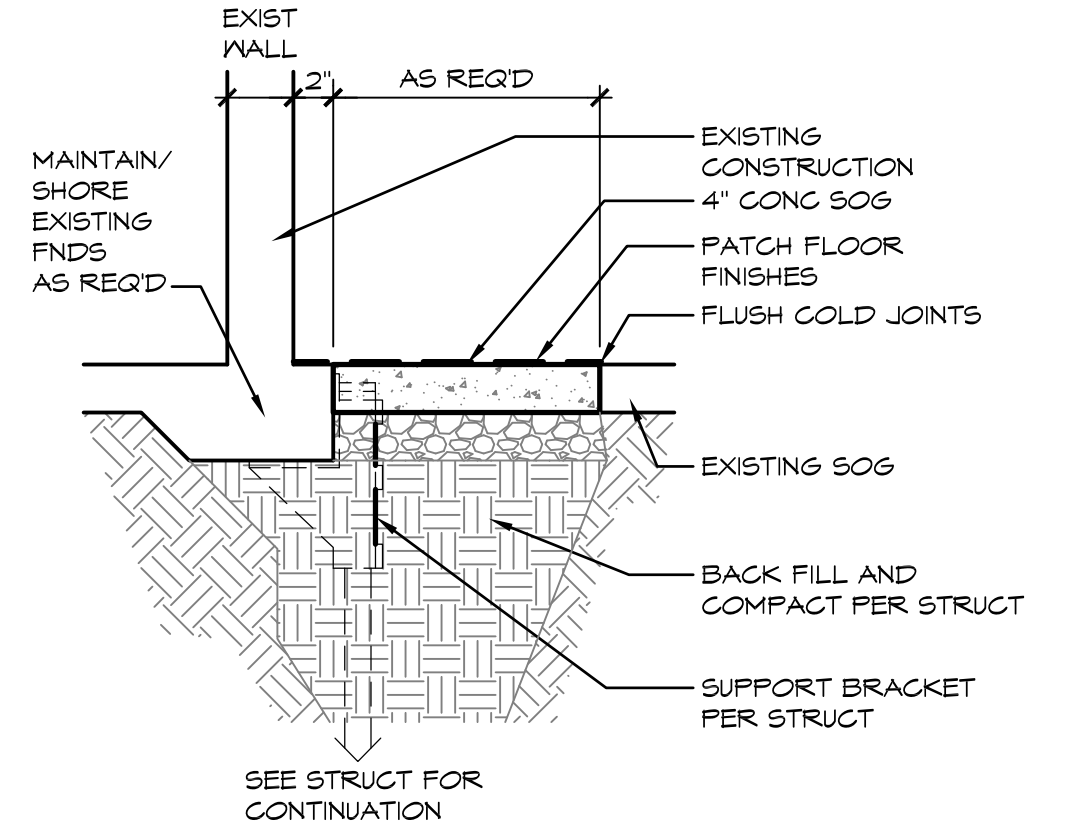
1 H1 HEADER SUPPORT DETAIL  
SCALE: 1-1/2"=1'-0" 1528-FR001



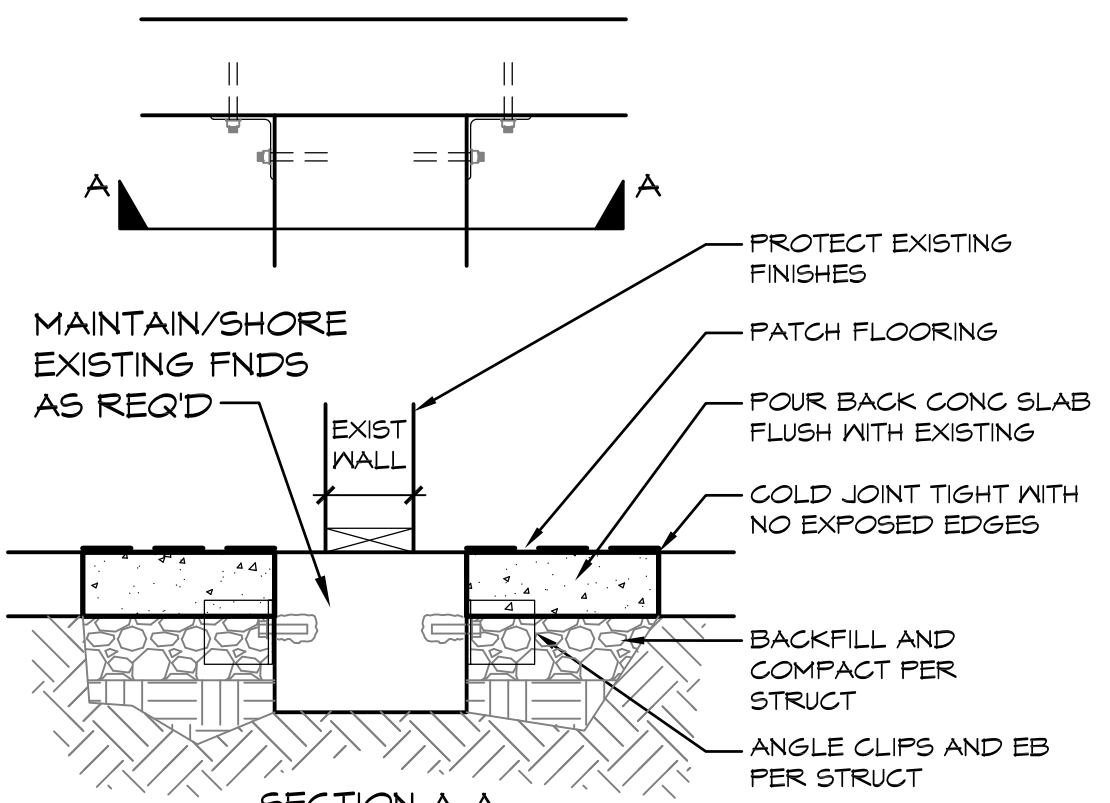
6 H1 FACE MOUNT HEADER ELEVATION  
SCALE: 1/4"=1'-0" 1528-FR002



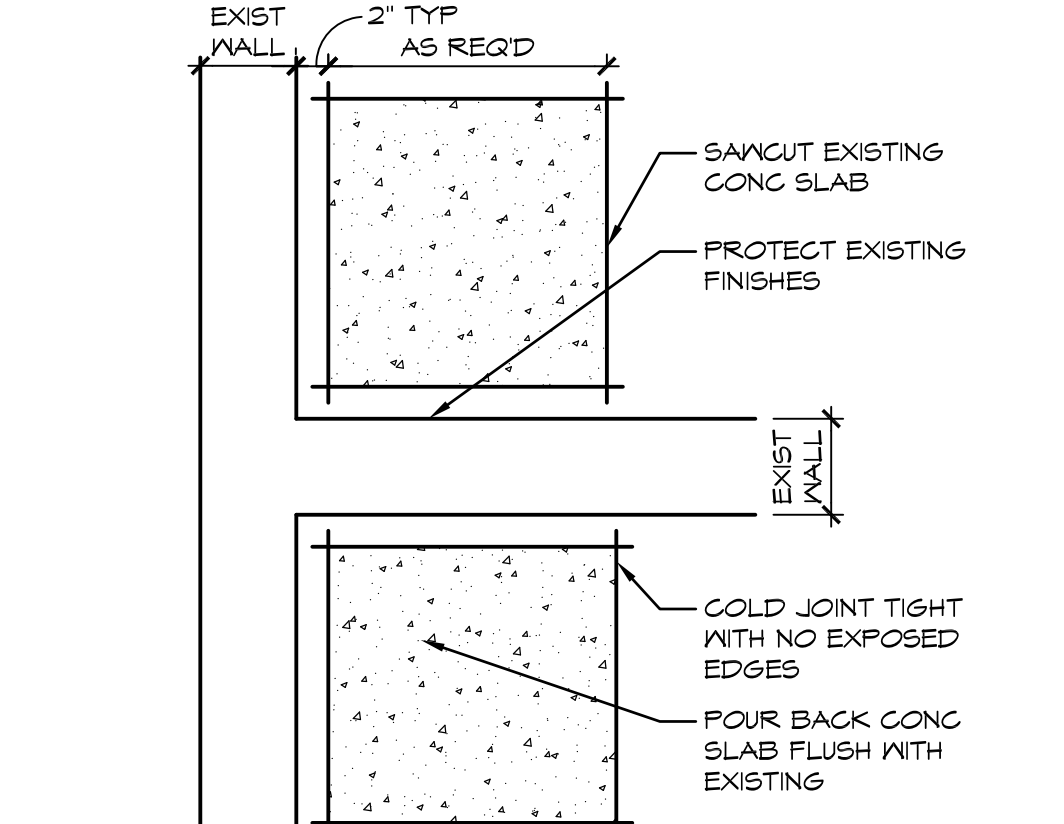
7 E1 EXTERIOR UNDERPIN DETAIL  
SCALE: 1/2"=1'-0" 1528-FD002



8 F3 INTERIOR UNDERPIN DETAIL  
SCALE: 3/4"=1'-0" 1528-FD001



3 F4 INTERIOR FOUND. DETAIL  
SCALE: 1"=1'-0" 1528-FD004



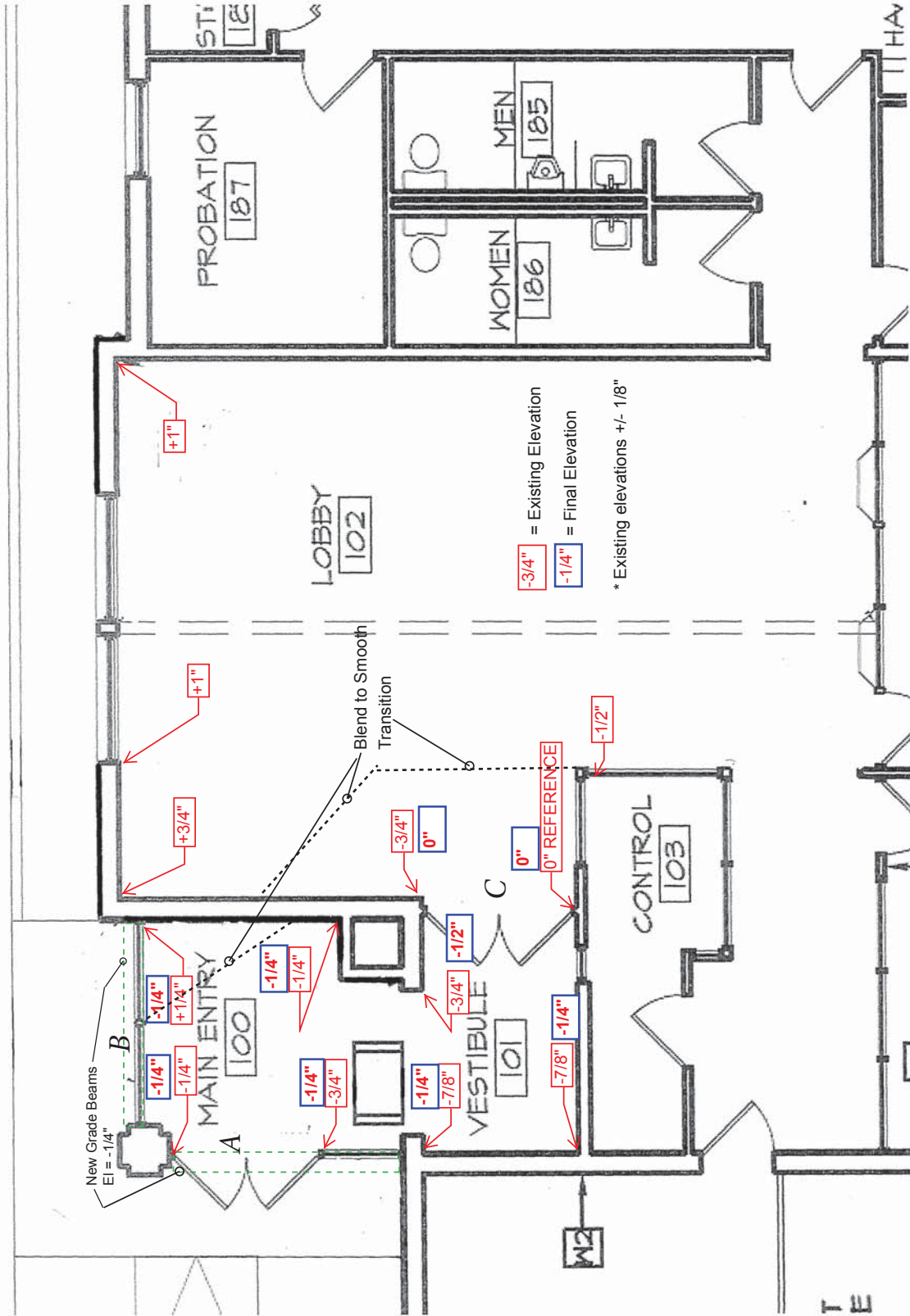
4 F4 INTERIOR FOUND. ACCESS  
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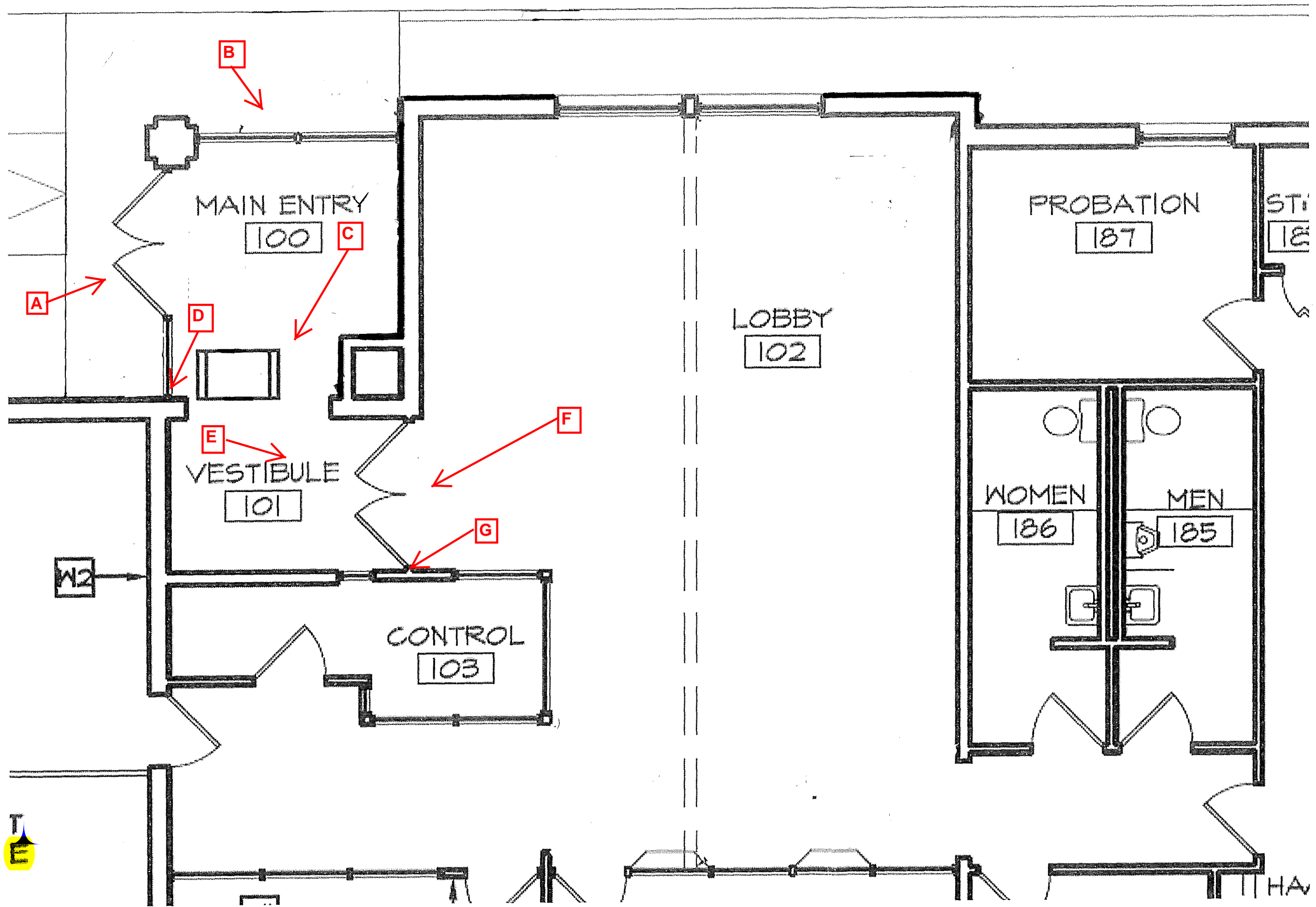


**STOREFRONT ASSEMBLIES:**

- A** - 9'-0" W x 9'-3" H (APPROX)  
REMOVE, ADJUST TO FIT NEW ELEVATIONS & REINSTATE TO NEW ELEVATION. ADJUST DOORS FOR PROPER OPERATION
- B** - 8'-0" W x 9'-3" H +/- (APPROX)  
REMOVE, ADJUST TO FIT NEW ELEVATIONS & REINSTATE
- C** - 6'-4" W x 10'-7" H (APPROX)  
REMOVE, ADJUST TO FIT NEW ELEVATIONS & REINSTATE TO NEW ELEVATION. ADJUST DOORS FOR PROPER OPERATION

FLOOR ELEVATIONS @ ENTRY







A





**B**







**D**



PLEASE DO NOT  
USE THIS  
DOOR: IT IS  
BROKEN.

PLEASE REMEMBER TO  
ASSESS THE PALLIUM  
& CHURCH BEFORE  
ENTERING THE  
CHURCH HOUSE

NOTICE

ATTENTION

PLEASE USE OTHER DOOR



E





**G**

